



HILLINGDON
LONDON



Central & South Planning Committee

Date: TUESDAY, 2 JULY 2019

Time: 7.00 PM

Venue: COMMITTEE ROOM 5 -
CIVIC CENTRE, HIGH
STREET, UXBRIDGE

**Meeting
Details:** Members of the Public and
Press are welcome to attend
this meeting

To Councillors on the Committee

Councillor Ian Edwards (Chairman)
Councillor Roy Chamdal (Vice-Chairman)
Councillor Shehryar Ahmad-Wallana
Councillor Mohinder Birah
Councillor Nicola Brightman
Councillor Alan Chapman
Councillor Jazz Dhillon
Councillor Janet Duncan
Councillor Steve Tuckwell

Published: Monday, 24 June 2019

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This Agenda is available online at:

Putting our residents first

Lloyd White
Head of Democratic Services
London Borough of Hillingdon,
3E/05, Civic Centre, High Street, Uxbridge, UB8 1UW
www.hillingdon.gov.uk

Useful information for residents and visitors

Watching & recording this meeting

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Those attending should be aware that the Council will film and record proceedings for both official record and resident digital engagement in democracy.



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A useful guide for those attending Planning Committee meetings

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Petitions and Councillors

Petitions - Those who have organised a petition of 20 or more people who live, work or study in the borough, can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

Ward Councillors - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

Committee Members - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant followed by any Ward Councillors;

4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

Agenda

Chairman's Announcements

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the previous meeting 1 - 8
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items of business marked Part I will be considered in Public and that the items marked Part 2 will be considered in private

PART I - Members, Public and the Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. The name of the local ward area is also given in addition to the address of the premises or land concerned.

Applications without a Petition

	Address	Ward	Description & Recommendation	Page
6	Central Lecture Building, Brunel University, Kingston Lane 74764/APP/2019/1315	Brunel	Upgrade of services, HAC roof beam repairs and the refurbishment of six ground floor WC's (Application for Listed Building Consent). Recommendation: Approval	9 – 20 78 - 104
7	Joseph Lowe Building, Brunel University, Kingston Lane 74715/APP/2019/1074	Brunel	Installation of solar panels. Recommendation: Approval	21 – 28 105 - 110

PART II - MEMBERS ONLY

The reports listed below are not made public because they contain confidential or exempt information under paragraph 6 of Part 1 of Schedule 12 A to the Local Government (Access to Information) Act 1985 as amended.

9	Enforcement Report	59 - 66
10	Enforcement Report	67 - 76

PART I - Plans for Central and South Planning Committee 77 - 110

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Minutes



CENTRAL & South Planning Committee

4 June 2019

Meeting held at Civic Centre, High Street, Uxbridge, Middlesex UB8 1UW

	<p>Committee Members Present: Councillors Ian Edwards (Chairman), Roy Chamdal (Vice-Chairman), Shehryar Ahmad-Wallana, Mohinder Birah, Nicola Brightman, Alan Chapman, Jazz Dhillon, Janet Duncan (Labour Lead) and Steve Tuckwell</p> <p>Also Present (as Ward Councillor): Councillor Stuart Mathers (in relation to agenda item 6) Councillor Richard Mills (in relation to agenda items 7 and 10)</p> <p>LBH Officers Present: Meghji Hirani (Planning Contracts Manager), Kerrie Munro (Legal Advisor), Liz Penny (Democratic Services Officer), James Rodger (Head of Planning and Enforcement) and Alan Tilly (Transport and Aviation Manager)</p>
3.	<p>APOLOGIES FOR ABSENCE (<i>Agenda Item 1</i>)</p> <p>There were no apologies for absence.</p>
4.	<p>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING (<i>Agenda Item 2</i>)</p> <p>Councillor Janet Duncan declared a non-pecuniary interest in agenda item 6 as she had been conversing with residents about this case. Councillor Duncan confirmed that she would leave the room prior to the discussion of this item.</p> <p>Councillor Roy Chamdal noted that he had received an email from a resident regarding agenda item 7 but had not responded. It was confirmed that there would be no requirement for him to leave the room during the discussion of this item as he was in a position to consider the application without prejudice.</p>
5.	<p>TO SIGN AND RECEIVE THE MINUTES OF THE PREVIOUS MEETING (<i>Agenda Item 3</i>)</p> <p>RESOLVED That: the minutes of the meetings dated 2 May 2019 and 9 May 2019 be agreed as an accurate record.</p>
6.	<p>MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT (<i>Agenda Item 4</i>)</p> <p>None.</p>
7.	<p>TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART 1 WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE</p>

CONSIDERED IN PRIVATE (*Agenda Item 5*)

It was confirmed that agenda items 1 to 13 were marked Part I and would be considered in public and agenda item 14 was marked Part II and would be considered in private.

8. LAND ADJACENT TO 26 HAWTHORNE CRESCENT - 44222/APP/2019/323
(*Agenda Item 6*)

Councillor Janet Duncan had declared an interest in this item and left the room prior to commencement of the discussions.

Officers introduced the report and highlighted the addendum. The application sought permission for the amendment of Conditions 2 (Approved Plans) and 6 (External Windows), comprising a pitched roof over the single storey rear element and the inclusion of three additional windows across both floors on the South flank elevation; together with two roof lights to the front and two on the rear elevation. It was considered that the proposal would not be harmful to the amenity of nearby residents or to the character and appearance of the immediate locality. It was also considered that the level of parking would be acceptable and the proposed dwelling met The London Plan (2016) and Local Plan space standards. The application was recommended for approval subject to the conditions proposed.

A petitioner spoke in objection to the application. Key points highlighted included the following:

- It was reported that there were inconsistencies in the plans submitted;
- Concerns were raised that there was an intention to convert the dwelling into flats at a later date;
- The site was overdeveloped and out of character with the surrounding area;
- There would be overlooking into neighbours' gardens;
- The development was reportedly unsafe - the disturbance had caused the rear of the properties to become destabilised and had resulted in fences collapsing;
- It had been stated that there would be no adverse impact on trees - this was untrue as the roots of a 60 foot tree in the petitioner's garden had been damaged. A tree surgeon would be coming to investigate this;
- The work was being carried out at antisocial hours and in an unhealthy environment - an open toilet was on site which was a health and safety concern. Residents had already complained about this to the Health and Safety Executive.

In response to questions from the Committee, the petitioner confirmed that the tree was an Ash. It was confirmed that it was not subject to a TPO and had not been inspected by tree officers.

Councillor Stuart Mathers addressed the Committee as Ward Councillor. Councillor Mathers echoed the concerns of residents commenting on the overdevelopment of the site, the invasion of privacy, the instability of the site, concerns regarding the proposed rear lights and additional windows at the property and the lack of co-operation between developers and neighbours. Councillor Mathers requested that Members visit the site to view for themselves the impact of the work being carried out there.

In response to Members' questions it was confirmed that no building work had been undertaken in neighbours' gardens although the plans appeared to indicate otherwise.

In her capacity as Ward Councillor, Councillor Jan Sweeting had submitted a written submission highlighting her concerns; this was read out by the Chairman. Key points included the following:

- The petitioners were very distressed by the situation and some neighbours had reported damage to their properties;
- The building had not been constructed in accordance with the planning permission granted;
- It was reported that the work had been carried out in an unsafe manner and had resulted in both destabilising an earth bank and destroying boundary fences and mature trees;
- The damage to neighbours' rear gardens had not been repaired and had made them unsafe and hazardous - enforcement action was suggested;
- The proposed additional windows in the roof seemed excessive and the height of the roof space suggested that it could potentially be used as a living space in the future rather than for storage;
- It was requested that the windows to the roof space be disallowed and the other proposed windows reduced in size;
- A site visit was recommended.

Members were reminded that, although a number of reasons for refusal had been cited, only those which related to material matters could be taken into consideration; these did not include the references to the toilet or the antisocial working hours mentioned.

Comments were invited regarding the allegation that the proposed works would not be in keeping with the surrounding area. The Planning Contracts Manager advised Members that similar sloping roofs were in existence throughout the Borough and the proposed pitched roof was acceptable in terms of Hillingdon Design and Accessibility Statement (HDAS). With regard to the matter of overlooking, Members were informed that, although the building work was close to the boundary, none of the main windows overlooked neighbouring habitable rooms. It was agreed that condition 7 be amended to ensure windows were obscured to a specific level (Pilkington Level 4) and non-opening below a given height.

In reference to the alleged unsafe development and concerns regarding trees, The Head of Planning and Enforcement advised Committee Members that it was not possible to consider non-material / boundary matters at the meeting. Any alleged enforcement issues would need to be addressed separately in private (Part II). The Legal Officer commented that an investigation would need to be undertaken first to establish whether conditions had indeed been breached.

In response to Members' enquiries, it was confirmed that the 60 foot tree was considered to be far enough away from the site to be unaffected by the works. Members were reminded that issues regarding trees were not relevant to the application before the Committee.

Members enquired whether it would be possible to impose a restriction on the future use of the roof space thereby ensuring it would remain non-habitable storage space only. It was confirmed that this would be a possibility but was unlikely to hold up should the applicant choose to lodge an appeal. In response to questions from the Committee, it was confirmed that the rooflights could be conditioned to be non-openers. Members were further advised that the windows to the first floor would be obscured whilst there was no requirement for this on the ground floor.

The officer's recommendation was moved, seconded and, when put to a vote, unanimously agreed subject to the amendment of Condition 7 and the addition of a number of further Conditions to reassure residents. It was also agreed that the Head of Planning would further explore the matter of the trees and the Democratic Service Officer was requested to follow up on the antisocial behaviour concerns raised by the petitioner and Ward Councillors.

RESOLVED That:

- 1. The application be approved and the Head of Planning and Enforcement be delegated authority to amend condition 7 (to ensure the use of Pilkington Level 4 obscure window glazing) and to add conditions in relation to fixed rooflights, the retention of a single residence and the avoidance of future sub-division of the property;**
- 2. The Head of Planning explore further concerns regarding trees as discussed at the meeting;**
- 3. Democratic Services explore further the environmental / antisocial behaviour issues raised by the petitioner at the meeting.**

9. **40 MICAWBER AVENUE - 10947/APP/2019/885** (*Agenda Item 7*)

Officers introduced the application and highlighted the addendum. The application sought planning permission for a single storey front extension, single storey rear extension and raising and enlargement of roof space and existing four dormers to create additional habitable roofspace. Members were informed that there were a variety of roof designs in the local area and the application was recommended for approval.

Councillor Richard Mills addressed the Committee as Ward Councillor in objection to the application. Key points raised included:

- The property was already over-developed;
- Further extensions would not be in keeping with the street scene;
- The application sought to raise the roof by 1.2m which was a concern as there was already overlooking to neighbours' properties; especially in St Margarets Avenue;
- The existing dormers were proportionate to the dwelling whilst the proposed new ones would not be;
- There had been a number of enforcement orders in relation to the property, some of which were ongoing;
- The proposed development would result in a three storey building - the original bungalow had been one storey only.

Members expressed concern that the proposal constituted overdevelopment and there would be increased overlooking both to St Margarets Avenue and to the adjacent property - 38a. In response to this, it was confirmed that windows to habitable rooms would look out onto the road or the garden not onto neighbouring properties. Members were advised that Condition no. 5 would ensure that windows facing 38a and 42 Micawber Avenue were obscure glazed and non-opening below a height of 1.8 metres.

Members expressed further concerns regarding the impact on the street scene. It was felt that the increased roof height would not be in keeping with the rest of the road and was out of character. In response to this, Members were informed that there was a

	<p>property in existence a few doors away which was higher at its peak than the proposed development. However, it was noted that planning permission for this property had been granted in 1988 when standards were different. In response to their questions, Members were advised that there was no requirement for the window in the apex of the roof to be obscure glazed as it looked out over the rear garden. Councillors commented that the garden at no. 38a was already dominated by the neighbouring property and it was felt that the proposed development would be excessive and would create further issues in relation to noise. It was essential that the amenity of residents was protected. In summary, the Committee had considerable concerns regarding matters of overlooking, loss of privacy and impact on the street scene.</p> <p>Members were reminded by the Legal Advisor and the Head of Planning that, if they were minded to refuse the application, they needed to have robust reasons to do so. The impact on the street scene was a matter that could be argued at an appeal stage.</p> <p>Members proposed that the application be refused on the basis of its height, bulk and impact on the street scene. This proposal was then moved, seconded and, when put to a vote, unanimously agreed.</p> <p>RESOLVED That: the application be refused on the basis of its height, bulk and impact on the street scene.</p>
10.	<p>64 SEATON ROAD - 74378/APP/2018/4238 (<i>Agenda Item 8</i>)</p> <p>Officers introduced the application which sought planning permission for a part two-storey, part single storey rear extension involving the demolition of the existing garage.</p> <p>Members noted that, on page 42 of the agenda, the Highways Officer had recommended that the application be refused on highway safety grounds. The Committee was reassured by the Transport and Aviation Manager that the existing garage was sub-standard and too small to accommodate a large modern car. Members were informed that the proposed revised parking arrangements utilising the front garden area would be preferable and officers had no concerns in this regard.</p> <p>Members commented that they were happy with the application as it stood. The officer's recommendation was moved, seconded and, when put to a vote, unanimously agreed.</p> <p>RESOLVED That: the application be approved.</p>
11.	<p>THE STABLE, BENBOW WAYE, COWLEY - 45830/APP/2019/505 (<i>Agenda Item 9</i>)</p> <p>Officers introduced the application which sought planning permission for the erection of a 2-bed bungalow, involving the demolition of an existing mobile home and outbuildings. Members were informed that the application followed a recent scheme allowed on appeal for a replacement dwelling with the same footprint, but including a first floor. Given the appeal decision, the current proposal for a lower replacement dwelling was considered to be acceptable subject to appropriate conditions.</p> <p>Members raised no concerns in regard to the application. The officer's recommendation was moved, seconded and, when put to a vote, unanimously agreed.</p> <p>RESOLVED That: the application be approved.</p>

12.	<p>LAND REAR OF 65-75 WORCESTER ROAD, COWLEY - 73918/APP/2019/795 (Agenda Item 10)</p> <p>Officers introduced the report and highlighted the addendum. The application sought planning consent for the demolition of existing garages and the erection of four (2 x 2 bedroom and 2 x 3 bedroom) dwellinghouses with landscaping and car parking.</p> <p>Members were advised that a previous application had been refused. The revised application was deemed to be acceptable as it provided adequate parking and external amenity space. It was considered that the development would not be detrimental to the adjoining area of special local character or the amenity of neighbouring residents. The application was recommended for approval.</p> <p>Councillor Mills spoke as Ward Councillor in objection to the application. Whilst he acknowledged that the proposal was preferable to the previous one, Councillor Mills expressed concern that the proposed larger 3-bed dwellings would be overbearing as they were far greater in height than the existing garages. Overlooking to numbers 71 and 73 was a further area of concern as was the matter of overshadowing. It was suggested that, since the number of vehicles movements had been assessed on the basis of the existing garages, the same rule should apply in relation to height. Members were informed that large vehicles would struggle to access the site safely. In summary, the matter of size and scale was still an area of concern and there would be significant overlooking and overshadowing of gardens in Worcester Road.</p> <p>Members commented that the proposed development was an improvement on the previous one. It was suggested that the development of such unused sites was beneficial in order to reduce the likelihood of anti-social behaviour becoming an issue. Councillors commented that the proposed hipped ends were much more acceptable and stated that, although there would be a degree of overshadowing to Clammas Way, there would be none in Worcester Road. It was therefore considered that there was no additional planning harm in relation to this application.</p> <p>The officer's recommendation was moved, seconded and, when put to a vote, unanimously agreed.</p> <p>RESOLVED That: the application be approved.</p>
13.	<p>15 AND 16 WELBECK COURT, WELBECK AVENUE - 62373/APP/2019/575 (Agenda Item 11)</p> <p>This item was withdrawn by the applicant prior to commencement of the meeting.</p>
14.	<p>5B WINDSOR STREET, UXBRIDGE - 63792/APP/2019/975 (Agenda Item 12)</p> <p>Officers introduced the report which sought consent for the change of use from retail (Use Class A1) to hot food takeaway (Use Class A5) and installation of external duct to the rear of the building. Members were informed that the site was located within the Old Uxbridge / Windsor Street Conservation Area. It was confirmed that, according to the Annual Shopping Survey 2016, Uxbridge retail frontage with A1 use was currently at 67.1% which was below the minimum 70% required. As such it was considered that the proposed change would not comply with Policy S11 of the Hillingdon Local Plan.</p> <p>Members expressed concern regarding the visibility of the external duct and the fact</p>

	<p>that it would be sited in close proximity to an existing first floor window; this raised concerns regarding the potential for noise and smell.</p> <p>The officer's recommendation was moved, seconded and, when put to a vote, unanimously agreed.</p> <p>RESOLVED That: the application be refused.</p>
15.	<p>132 UXBRIDGE ROAD, HAYES - 3125/APP/2019/545 (<i>Agenda Item 13</i>)</p> <p>This item was withdrawn by the applicant prior to commencement of the meeting.</p>
16.	<p>ENFORCEMENT REPORT (<i>Agenda Item 14</i>)</p> <p>RESOLVED:</p> <ol style="list-style-type: none"> 1. That the enforcement action as recommended in the officer's report was agreed. 2. That the Committee resolved to release their decision and the reasons for it outlined in the report into the public domain, solely for the purposes of it issuing the formal breach of condition notice to the individual concerned. <p><i>This item is included in Part II as it contains information which a) is likely to reveal the identity of an individual, and b) contains information which reveals that the authority proposes to give, under an enactment, a notice under or by virtue of which requirements are imposed on a person. The authority believes that the public interest in withholding the Information outweighs the public interest in disclosing it (exempt information under paragraphs 2 and 6(a) of Part 1 of Schedule 12A to the Local Government (Access to Information) Act 1085 as amended).</i></p>
	<p>The meeting, which commenced at 7.00 pm, closed at 8.45 pm.</p>

These are the minutes of the above meeting. For more information on any of the resolutions please contact Liz Penny on 01895 250185. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

The public part of this meeting was filmed live on the Council's YouTube Channel to increase transparency in decision-making, however these minutes remain the official and definitive record of proceedings.

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Report of the Head of Planning, Transportation and Regeneration

Address CENTRAL LECTURE BUILDING, BRUNEL UNIVERSITY KINGSTON LANE
HILLINGDON

Development: Upgrade of services, HAC roof beam repairs and the refurbishment of 6 ground floor WC's (Application for Listed Building Consent)

LBH Ref Nos: 74764/APP/2019/1315

Drawing Nos: 26806-HMP-01-GF-DR-E-0001 Rev. 02
Report on Remedial Works to Lecture Theatres A, B , D & E The Central Lecture Block, Brunel University May 2002
Structural Engineering Report
H11877
26806-HMP-01-00-DR-E-0003 Rev. 01
26806-HMP-01-00-DR-M-0001 Rev. 01
26806-HMP-01-00-DR-M-0002
26806-HMP-01-00-DR-PH-0002 Rev. 01
26806-HMP-01-XX-DR-PH-0001 Rev. 01
Specification of Works Ground Floor WC Refurbishment V. 2
26806-HMP-01-XX-DR-PH-0002 Rev. 01
181051 L(0)17 Rev. A
181051 L(0)13
181051 L(0)14 Rev. A
181051 L(0)15 Rev. A
181051 L(0)16 Rev. A
181051 L(0)19 Rev. A
181051 L(0)21
181051 L(0)22
190092 L(0)01
Design and Access Statement
181051 L(0)02
26806-HMP-01-01-DR-E-0002 Rev. 01
26806-HMP-01-03-DR-E-0001
26806-HMP-01-B1-DR-E-0001
26806-HMP-01-03-DR-E-0002
181051 L(0)01
26806-HMP-BLD-DR-ES-0001
181051 L(0)23
181051 L(0)24
Heritage Statement
Lecture Theatre Proposed Precautionary Safety Mesh System to Underside of Roof
26806-HMP-01-00-DR-PH-0001 Rev. 01
Specification for Electrical and Mechanical Services

Date Plans Received: 16/04/2019

Date(s) of Amendment(s):

20/05/2019

Date Application Valid: 16/04/2019

24/04/2019

17/04/2019

1. CONSIDERATIONS

1.1 Site and Locality

The application site is the Central Lecture Building also known as the Lecture Theatre Block, located at the centre of Brunel University campus, east of Cleveland Road. The site is a three-storey high building with external escape stairs that leads to the rooftop. The building comprises of six large lecture theatres to seat 160-200 students as well as smaller teaching rooms and lecture theatres to accommodate 60-80 student throughout the three floors along the corridors. The exterior is made from concrete and is designed in new modernist/brutalist style. In the 2001 refurbishment, eight rooms were revamped with new audio-visual equipment and the lobby area was later upgraded to a new glass foyer and the lecture theatres were updated to a more stylish, clean and minimalist and two new lifts were installed to the front of the building.

The site is a Grade II Listed Building that was designed by Richard Sheppard, Robson and Partners in 1965-66. Due to the building's architectural interest, innovative plan form, bold and sculptural use of materials and its historic interest as the centrepiece of the university campus, the Lecture Theatre Block is designated as Grade II.

The site is located within the Green Belt.

1.2 Proposed Scheme

The proposal seeks Listed Building consent for the upgrade of services, HAC roof beam repairs and the refurbishment of 6 x ground floor WCs.

The proposed works include:

Services Upgrades

- Full replacement of emergency lighting, including to the front external stairs.
- Removal of asbestos within wall-mounted electrical distribution boards.
- New sub mains, basement panel and distribution boards throughout the building, with associated rewiring/cabling.
- Repairs to main riser LTHW pipework (red oxide rust inhibitor and new lagging).
- Fixed wire testing to ensure safety of electrical hard wiring and subsequent repairs arising

from revealing inaccessible electrical wiring.

- Replacement of existing 300mm x 100mm galvanised steel cable trunking, with a new 450mm x 100mm cable trunking, which will follow the line of the existing on basement, ground and first floor.
- Insertion of cable tray running through entrance foyer and ground floor corridors.
- Electrical containment to ground floor entrance lobby and first floor landing
- Forming of 4 x electrical distribution cupboards to ground floor corridor with proposed door sets to be designed with over panels in keeping with doors to existing service risers and WCs.

High Alumina Cement (HAC) Roof Beam Repairs and associated works within Lecture Theatre F (third floor of CLB)

- Strip out of existing ceiling including general lighting, emergency lighting and ventilation grilles.
- Conduct concrete repairs to HAC roof beams and install new ceiling with new services as required.
- The replacement of the safety mesh.
- Support for projector.

Ground Floor WC Refurbishments

- Full strip out and refurbishment of 6 x Ground floor WCs.
- The construction of blockwork walls within each 2 male and 2 female WC and the conversion of 1 accessible bathroom to provide a gender-neutral facility.
- To include new lighting and ventilation provisions.

A site visit was undertaken by the Council's Conservation Officer on the 24/4/2019. As a result of the site visit, additional associated works were identified. As per the request from the agent in an e-mail dated 20/5/19, it is considered acceptable to include the additional associated works to the current application as it forms part of the service upgrade. The list of the proposed work above is inclusive of these works.

1.3 Relevant Planning History

532/ADV/2006/10 Central Lecture Building, Brunel University Kingston Lane Hillir
INSTALLATION OF HALO ILLUMINATED WALL MOUNTED SIGNS ON EAST AND WEST
ELEVATIONS.

Decision Date: 08-08-2006 **Approved** **Appeal:**

532/ADV/2017/54 Lecture Centre, Brunel University Kingston Lane Hillingdon
Installation of 2 No. internally illuminated, internally mounted hanging box signs and 2 No. non
illuminated internally mounted hanging promotional board signs (application for advertisement
consent)

Decision Date: 30-08-2017 **Approved** **Appeal:**

532/APP/2006/251 Central Lecture Building, Brunel University Kingston Lane Hillir
Reconfiguration of entrance foyer including new glazed facade with revolving door and installation
of new double doors to west elevations and extension (north and east end of building) at ground
level involving demolition of the existing external brick facade (north end of the building) and the

substation on the west elevation including internal alterations.

Decision Date: 17-03-2006	Approved	Appeal:
532/APP/2012/1531	Brunel University Kingston Lane Hillingdon	
Works to the Lecture Centre at Brunel University comprising electrical and mechanical upgrades and installations, installation of physical and electrical lighting protection system, extension of basement sump pit, installation of two new sump pumps, and installation of galvanised steel drainpipes within plant room (Application for Listed Building Consent).		
Decision Date: 11-07-2013	Approved	Appeal:
532/APP/2014/1100	Lecture Building, Brunel University Kingston Lane Hillingdon	
Listed Building Consent for repairs to the concrete exterior elevations of the Brunel University Lecture Centre.		
Decision Date: 16-05-2014	Approved	Appeal:
532/APP/2017/1493	Lecture Centre, Brunel University Kingston Lane Hillingdon	
Change of office administration room to coffee shop involving removal of existing plasterboard wall and reconfiguration; removal of section of existing external glazed wall and replacement with new glazed double doors; re-positioning of existing internal glazed double doors; formation of new single glazed door within rear lobby space; installation of new internally fixed illuminated signage		
Decision Date: 30-08-2017	Approved	Appeal:
532/APP/2017/1494	Lecture Centre, Brunel University Kingston Lane Hillingdon	
Change of office administration room to coffee shop involving removal of existing plasterboard wall and reconfiguration; removal of section of existing external glazed wall and replacement with new glazed double doors; re-positioning of existing internal glazed double doors; formation of new single glazed door within rear lobby space; installation of new internally fixed illuminated signage (Application for Listed Building Consent).		
Decision Date: 30-08-2017	Approved	Appeal:
532/APP/2017/4341	Lecture Centre, Brunel University Kingston Lane Hillingdon	
Details of external doors and internal auto swing door set in part compliance with condition 2 of Listed Building Consent Ref: 532/APP/2017/1494, dated 27 April 2017 (Change of office administration room to coffee shop)		
Decision Date: 12-01-2018	Approved	Appeal:
532/APP/2019/265	Brunel University Kingston Lane Hillingdon	
internal redecoration works to the Lecture centres' lecture rooms on the ground and second floor (Application for Listed Building Consent)		
Decision Date: 01-04-2019	Approved	Appeal:
532/PRC/2017/28	Brunel University Kingston Lane Hillingdon	
Minor structural adaptation to Grade 2 listed Lecture Theatre building and signage for proposed cafe use		
Decision Date: 20-04-2017	PRM	Appeal:

Comment on Planning History

Listed Building Consent was granted under planning application reference 532/APP/2019/265 dated 1/4/19 for the internal redecoration works to the Lecture centres' lecture rooms on the ground and second floor.

Listed Building Consent was granted under planning application reference 532/APP/2017/1494 dated 12/9/17 for the change of office administration room to coffee shop involving removal of existing plasterboard wall and reconfiguration; removal of section of existing external glazed wall and replacement with new glazed double doors; repositioning of existing internal glazed double doors; formation of new single glazed door within rear lobby space; installation of new internally fixed illuminated signage.

Planning permission reference 532/APP/2017/1493 was granted on 12/9/2017 for the change of office administration room to coffee shop involving removal of existing plasterboard wall and reconfiguration; removal of section of existing external glazed wall and replacement with new glazed double doors; repositioning of existing internal glazed double doors; formation of new single glazed door within rear lobby space; installation of new internally fixed illuminated signage.

Advertisement Consent was granted under planning application reference 532/ADV/2017/54 dated 12/9/2017 for the installation of 2 No. internally illuminated, internally mounted hanging box signs and 2 No. non illuminated internally mounted hanging promotional board signs.

Listed Building Consent was granted under planning application reference 532/APP/2014/1100 dated 16/5/14 for repairs to the concrete exterior elevations of the Lecture Centre.

Listed Building Consent was granted under planning application reference 532/APP/2012/1531 dated 11/7/13 for the works to the Lecture Centre at Brunel University comprising electrical and mechanical upgrades and installations, installation of physical and electrical lighting protection system, extension of basement sump pit, installation of two new sump pumps, and installation of galvanised steel drainpipes within plant room.

Planning permission reference 532/APP/2006/251 was granted on 17/3/06 for reconfiguration of entrance foyer including new glazed facade with revolving door and installation of new double doors to west elevations and extension (north and east end of building) at ground level involving demolition of the existing external brick facade (north end of the building) and the substation on the west elevation including internal alterations.

Advertisement Consent was granted under planning application reference 532/ADV/2006/10 dated 8/8/06 for the installation of a halo illuminated wall mounted signs on east and west elevation.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- 12th June 2019

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

EXTERNAL CONSULTATION

A public notice was on display between 24/4/2019 and 17/5/2019. No comments were received.

Historic England:

On the basis of the information provided, we do not consider that it is necessary for this application to be notified to Historic England under the relevant statutory provisions, details of which are attached.

If you consider that this application does fall within one of the relevant categories, or you have other reasons for seeking our advice, please contact us to discuss your request. If we do not hear from you within five working days we will assume this application should not have been sent to us.

This response relates to designated heritage assets only. If the proposals meet the Greater London Archaeological Advisory Service's published consultation criteria we recommend that you seek their view as specialist archaeological adviser to the local planning authority.

Historic England's Greater London Archaeological Advisory Service:

On the basis of the information provided, we do not consider that it is necessary for this application to be notified to Historic England's Greater London Archaeological Advisory Service under their consultation criteria.

If you consider that this application does fall within one of the relevant categories, or you have other reasons for seeking our advice, please contact us to discuss your request. If we do not hear from you within five working days we will assume this application should not have been sent to us.

This response relates to undesignated archaeological assets only. If necessary, Historic England's Development Management or Historic Places teams should be consulted separately regarding statutory matters.

INTERNAL CONSULTATION

Conservation and Urban Design Comments:

Summary of Comments

This application covers a number of different schemes aimed at updating facilities in the Central Lecture Block, part of ongoing phases of improvements. These proposals appear in line with the conservation interests of this grade II listed building and so there is no conservation objection to this application.

Observations

The Lecture Theatre Block at Brunel University is a grade II listed 20th Century reinforced concrete building designed by John Heywood, important for both its design and its significance in the early development of the university. The physical character of the building comes from its impressive form and use of the material qualities of reinforced concrete. Its intangible character comes from its use as a central feature and lecture block, within the life of the university campus.

It is agreed that upgrading the facilities at this property is essential to sustain the original

intended use of this building into the future. The conservation concern is with how this should be approached. Industry standard approaches to this should be critically assessed to minimise damage to the heritage asset, by careful choices of equipment, layout, construction methods and so forth, to minimise all invasive interventions. The most obvious example of this would be to re-use existing fixing locations and to avoid drilling additional holes.

It is clear the team responsible for the proposed works respect the significance of the building and are mindful of a conservation approach. This must be passed on to the people actually doing the works, please.

The proposed refitting of the 6 WCs is considered acceptable, as described in the application. The proposed replacement of the external ventilation grilles for these areas, are considered an improvement on the existing modern extraction terminals.

The proposed in-situ repair and protection of the concrete beams and shutter panels in theatre F is considered acceptable, as is the replacement of the mesh in the existing ceiling debris protection system. The proposed new structural frame to carry the projector is acceptable.

The changes required for the electrical system involving up-sizing the existing galvanised cable trays, from 300mm to 450mm, are acceptable providing they are situated no closer to the outside of the coffered ceiling in the ground floor foyer, than they are at present. The removal of the plastic ducting on the first floor is welcome. The upsizing of the existing galvanised cable trays on the first floor are also acceptable. The provision for the 4 extra electrical cupboards within the ground floor corridors, by adding doors to existing alcoves is considered acceptable.

Recommendation: Approval.

Conditions:

- Unless specified on the approved drawings and specifications, the Local Planning Authority's agreement must be sought for changes to the proposed works or the opening up of any part of the building.
- Any damage caused to the building in execution of the works shall be made good to the satisfaction of the Local Planning Authority within 6 months of the works being completed.

REASON

To safeguard the special architectural and/or historic interest of the building in accordance with Policy BE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4. UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.HE1 (2012) Heritage

Part 2 Policies:

BE8 Planning applications for alteration or extension of listed buildings

BE9 Listed building consent applications for alterations or extensions

BE10 Proposals detrimental to the setting of a listed building

BE15 Alterations and extensions to existing buildings

DMHB 1 Heritage Assets

DMHB 2 Listed Buildings

LPP 7.8 (2016) Heritage assets and archaeology

NPPF- 16 NPPF-16 2018 - Conserving & enhancing the historic environment

5. MAIN PLANNING ISSUES

The main planning issue is the impact the proposed works have on the Grade II Listed Building.

Policy BE8 and BE9 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) states that applications for planning permission to alter or extend statutory listed building or buildings on the local list will normally only be permitted if no damage is caused to historic structures.

Policy BE10 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) stresses that planning permission or listed building consent will not normally be granted for proposal which are considered detrimental to the setting of a listed building.

Policy BE15 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) states that proposal for alterations and extensions to existing building will be permitted where they harmonise with the scale, form, architecture composition and proportions of the original building.

The purpose of the proposed scheme is part of the ongoing improvement of the Central Lecture Block to improve teaching facilities and to upgrade extended services to ensure the ongoing viability and the function of the building.

The refurbishment works for the WC's will be carried out on a like for like basis and are intended not to be invasive to the structural fabric of the building however, the existing 150 x 150mm external grille will be replaced with a new toilet extraction fan exhaust louvre which is visible from the exterior. As the new exhaust is a replacement and no new apertures will be created, it is considered to be acceptable.

Remediation work to the concrete roof beams is proposed to reduce the deterioration of the building and the service upgrades is a necessary upgrade of outdated services to ensure that the building is fit for its purpose and able to maintain its original use into the future.

The Council's Urban Design and Conservation Officer was consulted and no objections were raised. The proposals are in line with the conservation interests of this Grade II Listed Building and are therefore considered to be acceptable. As such, the proposal is considered to accord with Policies BE8, BE9, BE10 and BE15 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

The application is recommended for approval.

6. RECOMMENDATION

APPROVAL subject to the following:

1 G14 Time Limit (3 years) - Listed Building Consent

The works hereby permitted shall begin before the expiration of three years from the date of this consent.

REASON

To comply with Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers:

H11877

26806-HMP-01-GF-DR-E-0001 Rev. 02

26806-HMP-01-00-DR-E-0003 Rev. 01

26806-HMP-01-00-DR-M-0001 Rev. 01

26806-HMP-01-00-DR-M-0002

26806-HMP-01-00-DR-PH-0001 Rev. 01

26806-HMP-01-00-DR-PH-0002 Rev. 01

26806-HMP-01-XX-DR-PH-0001 Rev. 01

26806-HMP-01-XX-DR-PH-0002 Rev. 01

26806-HMP-01-01-DR-E-0002 Rev. 01

26806-HMP-01-03-DR-E-0001

26806-HMP-01-B1-DR-E-0001

26806-HMP-01-03-DR-E-0002

26806-HMP-BLD-DR-ES-0001

181051 L(0)01

181051 L(0)02

181051 L(0)14 Rev. A

181051 L(0)15 Rev. A

181051 L(0)16 Rev. A

181051 L(0)17 Rev. A

181051 L(0)19 Rev. A

181051 L(0)21

181051 L(0)22

181051 L(0)23

181051 L(0)24

190092 L(0)01

Lecture Theatre Proposed Precautionary Safety Mesh System to Underside of Roof

and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2016).

3 COM5 General compliance with supporting documentation

The development hereby permitted shall not be occupied until the following has been completed in accordance with the specified supporting plans and/or documents:

Report on Remedial Works to Lecture Theatres A, B , D & E The Central Lecture Block,
Brunel University May 2002
Structural Engineering Report
Specification of Works Ground Floor WC Refurbishment V. 2
Specification for Electrical and Mechanical Services

Thereafter the development shall be retained/maintained in accordance with these details for as long as the development remains in existence

REASON

To ensure that the development complies with the objectives of Policies . Specify Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

4 LB2 Making good of any damage

Any damage caused to the building in execution of the works shall be made good to the satisfaction of the Local Planning Authority within 6 months of the works being completed.

REASON

To safeguard the special architectural and/or historic interest of the building in accordance with Policy BE8 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

INFORMATIVES

- 1** The decision to GRANT Listed Building Consent has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 2** The decision to GRANT Listed Building Consent has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

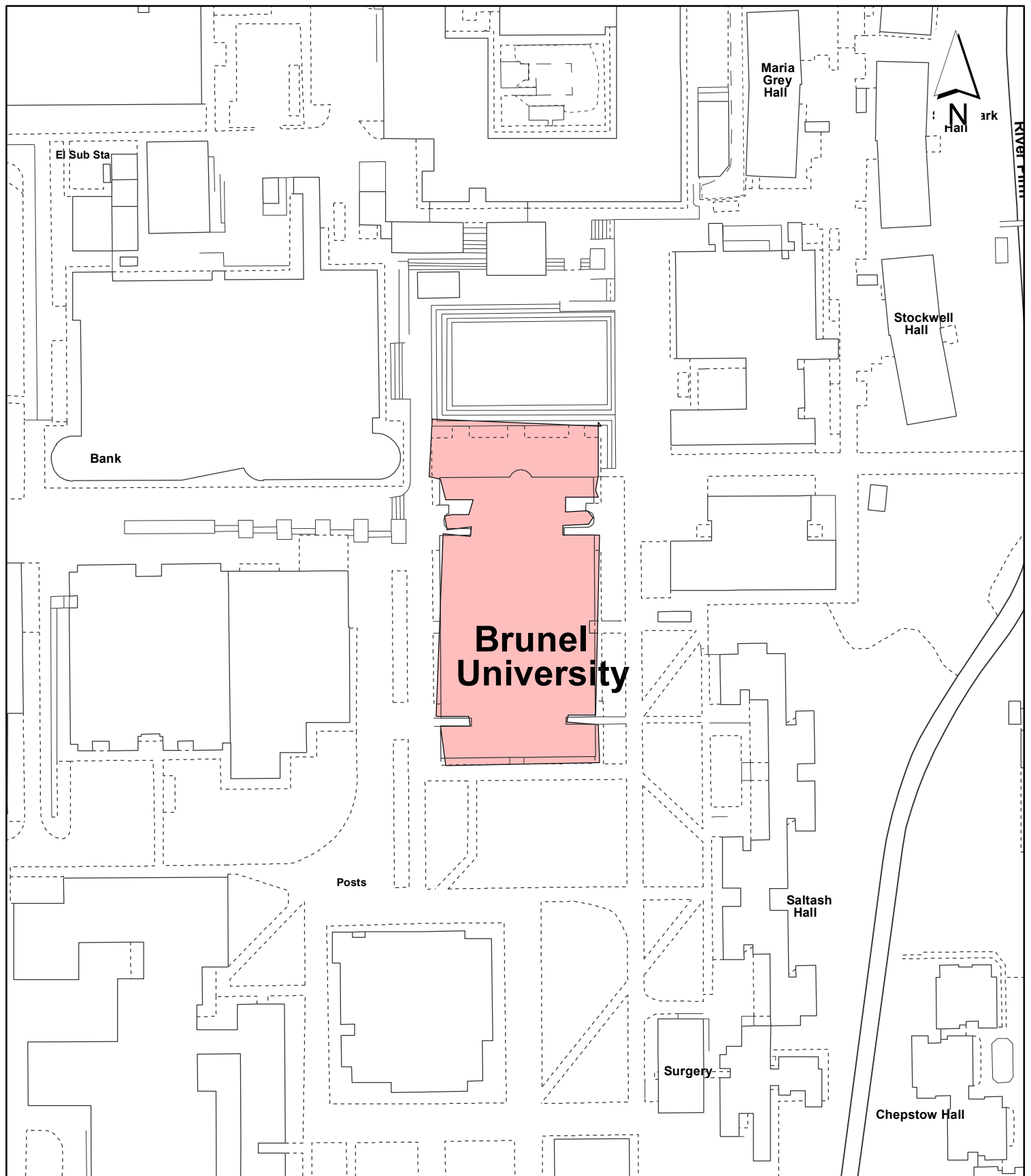
BE8 Planning applications for alteration or extension of listed buildings

- BE9 Listed building consent applications for alterations or extensions
- BE10 Proposals detrimental to the setting of a listed building
- BE15 Alterations and extensions to existing buildings
- DMHB 1 Heritage Assets
- DMHB 2 Listed Buildings
- LPP 7.8 (2016) Heritage assets and archaeology
- NPPF- 1 NPPF-16 2018 - Conserving & enhancing the historic environment

- 3** In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from the 'Saved' UDP 2007, Local Plan Part 1, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service, in order to ensure that the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

Contact Officer: Rebecca Lo

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

**Central Lecture Building
Brunel University
Kingston Lane**

Planning Application Ref:

74764/APP/2019/1315

Scale:

1:1,250

Planning Committee:

Central & South

Date:

June 2019

**LONDON BOROUGH
OF HILLINGDON**

**Residents Services
Planning Section**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning, Transportation and Regeneration

Address JOSEPH LOWE BUILDING, BRUNEL UNIVERSITY KINGSTON LANE
HILLINGDON

Development: Installation of solar panels

LBH Ref Nos: 74715/APP/2019/1074

Drawing Nos: ECQ07275FRM Rev. 1
ECQ07275 PLN
TQRQM19071150753735
TQRQM19071143317855

Date Plans Received: 29/03/2019

Date(s) of Amendment(s):

Date Application Valid: 15/04/2019

1. SUMMARY

Full Planning consent is sought for the installation of a solar photovoltaic energy system including relocation of existing installations to the Joseph Lowe Building of Brunel University.

The proposal would consist of two rows of solar panels measuring 1.6 m x 1.6 m at a 30 degree pitch with a maximum height of 1 m.

2. RECOMMENDATION

APPROVAL subject to the following:

1 COM3 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans ECQ07275 PLN and TQRQM19071150753735 and ECQ07275FRM Rev. 1 and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2016).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act

incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

OL4	Green Belt - replacement or extension of buildings
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
OE1	Protection of the character and amenities of surrounding properties and the local area
LPP 7.16	(2016) Green Belt
NPPF- 13	NPPF-13 2018 - Protecting Green Belt land

3 I59 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2016). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

4 I47 Damage to Verge - For Council Roads:

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

For Private Roads: Care should be taken during the building works hereby approved to ensure no damage occurs to the verge of footpaths on private roads during construction. Vehicles delivering materials to this development shall not override or cause damage to a private road and where possible alternative routes should be taken to avoid private roads. The applicant may be required to make good any damage caused.

5 170 **LBH worked applicant in a positive & proactive (Granting)**

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from the 'Saved' UDP 2007, Local Plan Part 1, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service, in order to ensure that the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

3. CONSIDERATIONS

3.1 Site and Locality

The application site is Brunel University, Uxbridge and comprises of a number of buildings, residential accommodation and car parking for staff and students.

3.2 Proposed Scheme

Full Planning consent is sought for the installation of a solar photo voltaic energy system including relocation of existing installations to the Joseph Lowe Building of Brunel University.

The proposal would consist of two rows of solar panels measuring 1.6 m x 1.6 m at a 30 degree pitch with a maximum height of 1 m.

3.3 Relevant Planning History

Comment on Relevant Planning History

The site benefits from an extensive planning history.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.EM2 (2012) Green Belt, Metropolitan Open Land and Green Chains

Part 2 Policies:

OL4 Green Belt - replacement or extension of buildings

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

- OE1 Protection of the character and amenities of surrounding properties and the local area
- LPP 7.16 (2016) Green Belt
- NPPF- 13 NPPF-13 2018 - Protecting Green Belt land

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

A total of 16 adjoining and nearby neighbouring properties were consulted via letter dated 17.04.19 including a site notice displayed adjacent to the premises on 13.05.19.

No representations received.

Internal Consultees

Environmental Specialist Team: No comments received.

Planning Specialists Team: No comments to make.

Environmental Protection Unit: No comments received.

Energy and Ecology: No comments received.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

There is no objection in principle to the installation a solar photo voltaic energy system to the Joseph Lowe Building within the Brunel University site subject to compliance with relevant policies of the Hillingdon Local Plan: Part Two- Saved UDP Policies (November 2012).

7.02 Density of the proposed development

Not applicable.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable.

7.04 Airport safeguarding

Not applicable.

7.05 Impact on the green belt

Policy OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) does not permit developments in the Green Belt that would injure the visual amenity of the Green Belt by their siting, materials and design.

The proposal is considered not to have a detrimental impact on the Green Belt as discussed within the 'Principle of development' and 'Impact on the character & appearance of the area' sections of this report.

The proposal complies with Policy OL4 of the Hillingdon Local Plan: Part Two - Saved UDP

Policies (November 2012).

7.07 Impact on the character & appearance of the area

The application site lies within a Major Developed Site located inside the Metropolitan Green Belt characterised by large educational related buildings. However, no additional internal floorspace is proposed and given that the panels are sited on the roof and with a limited height of 1m, would not be visible, it is considered that the proposed solar panels would not harm the openness or amenity of the Green Belt. There is no policy objection to the proposal which would accord with Policy OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

It is considered that the proposal would not harm the overall character or appearance of the University Campus. Accordingly, the proposal would accord with Policy BE13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.08 Impact on neighbours

The application site comprises of a substantially large site with the associated building, The Joseph Lowe building is situated on the south side of the site and there are no immediately adjoining neighbours. It is therefore considered the proposed alterations would not result in any undue impact to the neighbouring buildings outside of the application site. The proposal would be compliant with BE20, BE21 and BE24 of the Hillingdon Local Plan Part 2: Saved UDP Policies.

7.09 Living conditions for future occupiers

Not applicable to this application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Policies AM2 and AM7 state that all proposals for development will be assessed against their contribution to traffic generation and their impact on congestion and the present and potential availability of public transport and its capacity to meet increased demand. Due to the nature of the proposal it is considered not to result in an increase of traffic flow, or result in a hazard to users of the site.

7.11 Urban design, access and security

Design issues have been discussed elsewhere within this report.

The proposal has no implications for access or security.

7.12 Disabled access

Not applicable to this application.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

Not applicable to this application.

7.15 Sustainable waste management

Not applicable to this application.

7.16 Renewable energy / Sustainability

The proposal would make a contribution towards the generation of renewable energy at the application site and accordingly is considered to be generally supported by policies within the London Plan and national guidance within Planning Policy Statement 1: Delivering Sustainable Development, Planning Policy Statement: Planning and Climate Change - Supplement to Planning Policy Statement 1 and Planning Policy Statement 22: Renewable Energy.

7.17 Flooding or Drainage Issues

- Not applicable to this application.
- 7.18 Noise or Air Quality Issues**
- Not applicable to this application.
- 7.19 Comments on Public Consultations**
- None received during public consultation.
- 7.20 Planning obligations**
- Not applicable to this application.
- 7.21 Expediency of enforcement action**
- Not applicable to this application.
- 7.22 Other Issues**
- There are no other issues relating to the development.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

The application seeks to install a solar panels to the roof of the Joseph Lowe building within the Brunel University.

It is considered that the proposal would not have any significant impact on the openness of the Green Belt within this Major Developed Site and the amenities of nearby occupiers would remain unaffected. The proposal is also considered acceptable in terms of highways safety.

Accordingly, the application is recommended for approval.

11. Reference Documents

London Plan (March 2016)

National Planning Policy Framework

Hillingdon Local Plan: (November 2012)

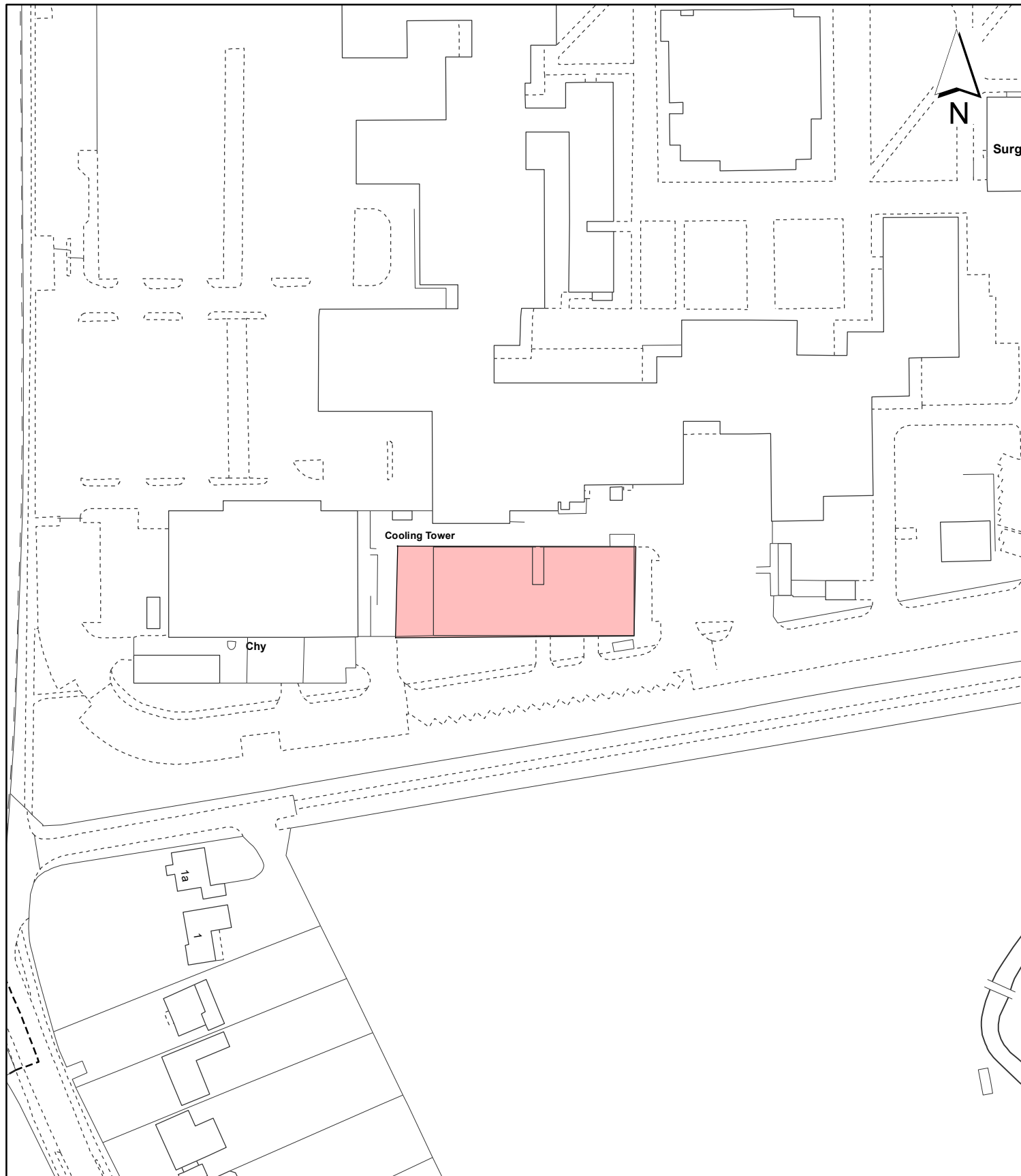
(a) Planning Policy Statement 1: Delivering Sustainable Development

(b) Planning Policy Statement: Planning and Climate Change - Supplement to Planning Policy Statement 1

(c) Planning Policy Statement 22: Renewable Energy

Contact Officer: Naim Poptani

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

**Joseph Lowe Building
Brunel University
Kingston Lane**

Planning Application Ref:

74715/APP/2019/1074

Scale:

1:1,250

Planning Committee:

Central & South

Date:

June 2019

**LONDON BOROUGH
OF HILLINGDON**
**Residents Services
Planning Section**

Civic Centre, Uxbridge, Middx. UB8 1UW
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HILLINGDON
LONDON

Report of the Head of Planning and Enforcement

S.106/278 PLANNING AGREEMENTS - QUARTERLY FINANCIAL MONITORING REPORT

SUMMARY

This report provides financial information on s106 and s278 agreements in the Central and South Planning Committee area up to 31 March 2019 where the Council has received and holds funds.

RECOMMENDATION

That Members note the contents of this report.

INFORMATION

1. Paragraph 24 of the Government's Planning Practice Guidance, encourages local planning authorities to make publically available information with regard to what planning obligation contributions are received by the Council and how these contributions are used. This ensures transparency and is therefore considered to be good practice. Details of the financial obligations held by the Council are reported to Cabinet on a quarterly basis through the "Planning Obligations Financial Monitoring Report". The report informs members and the public of the progress being made in the allocation of financial obligations and their implementation.
2. The information contained in this report was reported to Cabinet on 20 June 2019 and updates the information received by Cabinet in March 2019. The attached Appendix 1 provides updated financial information on s106 and s278 agreements in the Central and South Planning Committee area up to 31 March 2019, where the Council has received and holds funds.
3. Appendix 1 shows the movement of income and expenditure taking place during the financial year. The agreements are listed under Cabinet portfolio headings. Text that is highlighted in bold indicates key changes since the previous report of April 2019 to the Planning Committee. Figures shown in bold under the column headed 'Total income as at 31/03/19' indicate new income received. Agreements asterisked under the column headed 'case ref' are those where the Council holds funds but is unable to spend them for a number of reasons. These include cases where the funds are held as a returnable security deposit for works to be undertaken by the developer and those where the expenditure is dependant on other bodies such as transport operators. In cases where schemes have been completed and residual balances refunded, the refund amount is either the amount listed in the "Balance of Funds" column or where the

amount listed in this column is zero the difference between the amounts listed in the columns titled "Total Income as at 31/12/18" and "Total Income as at 31/03/19".

4. Members should note that in the Appendix, the 'balances of funds' held include funds that may already be committed for projects such as affordable housing and school expansion projects. Expenditure must be in accordance with the legal parameters of the individual agreements and must also serve a planning purpose and operate in accordance with legislation and Government guidance in the form of the National Planning Policy Framework (July 2018). The Council has adopted Supplementary Planning Guidance for Planning Obligations that provides the framework in which the Council will operate.
5. Members should also note that the listed "balances of funds", i.e. the difference between income received and expenditure, is not a surplus. The majority of the funds are linked to projects that are already underway or programmed but have not been drawn down against the relevant s106 (or s.278) cost centre. The column labelled "balance spendable not allocated" shows the residual balance of funds after taking into account funds that the Council is unable to spend and those that it has committed to projects.

Financial implications

6. This report provides information on the financial status on s106 and s278 agreements up to 31 March 2019. The recommendation to note has no financial implications.

CORPORATE CONSULTATIONS CARRIED OUT

Legal

It is a requirement of the District Audit report into planning obligations and the Monitoring Officers report that regular financial statements are prepared.

EXTERNAL CONSULTATIONS CARRIED OUT

There are no external consultations required on the contents of this report.

BACKGROUND DOCUMENTS

District Auditor's "The Management of Planning Obligations" Action Plan May 1999
Monitoring Officers Report January 2001
Planning Obligations Supplementary Planning Document Adopted July 2008 and revised 2014.
Cabinet Report June 2019.

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CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
		SECTION 278								
		PORTFOLIO: PLANNING TRANSPORTATION AND RECYCLING								
PT278/30/115*22	Heathrow Villages	Terminal 5, Land at Longford Roundabout, Heathrow s278 10 Jan 02 47853/93/246	10,500.00	10,500.00	5,500.00	5,500.00	0.00	5,000.00	0.00	Fees & security (£5,000) associated with Highway Works to be undertaken by developer. Works consisted of temporary access works from Longford Roundabout to Western Perimeter Road. Access installed & will be removed following completion of Terminal 5. Security to be retained pending outcome of BAA proposals to make this access two-way and permanent for buses and emergency services vehicles as well as cyclists. Two way access implemented. Officers investigating whether all required works have been completed. Works completed, security to be refunded after maintenance period. £5,000 fees claimed by ECU.
PT278/34/86A*18	Brunel	Brunel site3 532/SPP/2001/1858 - Highways Works at Junction Hillingdon Hill / Kingston Lane & Pelican Crossing on Kingston Lane	392,358.87	392,358.87	197,448.22	197,448.22	0.00	194,910.65	0.00	Highway Works - £150k refundable security, £124,637.12 received for highway works at junction of Hillingdon Hill and Kingston Lane, £65,271.32 - received for Kingston Lane Pedestrian Crossing, £20,500 supervision fees. If the supervision fee following final completion exceeds 10% of the costs of the works plus statutory undertakers costs and TTS payment then the excess is to be refunded. Works complete and signals switched on. Officers continue to chase Brunel to perform remedial works to grass verges and are investigating options for the use of some of the security for the Council to perform the remedial works if necessary. Final certificate sent 30/4/09.
PT278/44/87A*20	Brunel	Brunel s278 16 April 04 532/SPP/2002/2237 - Traffic Calming on Cleveland Road & New Entrance on Kingston Lane	102,018.78	102,018.78	81,080.74	81,080.74	0.00	20,938.04	0.00	Traffic Calming on Cleveland Road & roundabout on Kingston Lane. £30,900 spent on engineering fees. £150k Refundable security deposit. £3,200 for Traffic DC project management costs. £58,962.38 TTS estimate for Pedestrian Crossing on Cleveland Road. Further payments received following receipt of estimate of works to cover security/costs. £10,000 received for improvements to a footpath on the site to be retained a security for Brunel to implement the works and to be transferred to PT84/87B-D. Traffic Calming on Cleveland Road (including new signalised crossing) & roundabout on Kingston Lane at new entrance to Brunel University now complete. TfL invoice paid. Residual on TfL payment due to VAT not claimed - funds to be held on as contingency for extra TfL costs. Interest Accrued. Remedial work completed and signed off in December 2007.
PT278/49/117*23	Yeading	Grand Union Village Southall 327/APP/2000/2106	77,331.55	77,331.55	55,222.89	55,222.89	0.00	22,108.66	0.00	Security deposit (£5K + interest) for highways works involving traffic calming to the junction with Glencoe Rd and a cycleway/footway on Broadmead Rd to Hayes Bypass. £52,363.10 for TfL costs for Broadmead Road Toucan Crossing proposed as part of works. Additional income is £1K of engineering fees. Detailed plans of works and design agreed. Consultation undertaken during February 2007 for traffic calming and toucan crossing. Officers chasing TfL for implementation. Following consultation Cabinet Member agreed to works to be carried out. Works completed Aug 09. Further £11,447 received for LBH fees. £43,775.89 paid towards TfL signal costs.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PT278/57/140 A	Pinkwell	MOD Records Office Stockley Road Hayes 18399/APP/2004/2284	419,128.68	419,128.68	325,719.61	325,719.61	0.00	93,409.07	0.00	£188,737.70 (including £170,027.34 for Transport For London signals unit) for installation of two sets of traffic signals, one at the entrance to the site the other at Lavender Rise on Stockley Road and £190,686.91 received in respect of the Council's costs for supervision of the works (to be carried out by the owner). Works complete. Stage 3 road safety audit now agreed await completion of remedial works. Remedial works completed. Additional item of works being sought by officers who are chasing the developer for this. Council's costs of £205,686.71 claimed, TTS invoice for signals at Lavender Rise paid. Funding for additional items of works (removal of right turn lane) and BT cabling received. Design work and public consultation completed. Removal of right turn lane completed Sept 09. Scheme in maintenance period awaiting financial completion.
PT278/60/147B	West Drayon	DERA Site, Kingston Lane, West Drayton - Highways 45658/APP/2002/3012	56,816.26	56,816.26	0.00	0.00	0.00	56,816.26	0.00	£55,000 was received towards the total cost of highway works for the purchase and installation of traffic signals at Station Road/ Porters Way Junction and any such other incidental work as identified by the Council to support the development. Funds not spent by February 2014 are to be refunded together with interest accrued. These works to be performed by developer of RAF Porters Way (see PT278/62/148A). Funds to be retained as a contingency for these works.
PT278/62/149A *51	Botwell	Hayes Goods Yard 10057/APP/2004/2996&2999	7,000.00	7,000.00	0.00	0.00	0.00	7,000.00	0.00	The Council's costs due upon lodgement of documents by the developer for the design, administration and supervision of the works to the public highways surrounding the site to be performed by the developer. £5,000 received as a security deposit for the due and proper execution of the highways works by the developer.
PT/278/65/182 *52	Heathrow Villages	Longford Roundabout - Fifth Arm, 63369/APP/2007/2294	9,521.00	9,521.00	4,521.00	4,521.00	0.00	5,000.00	0.00	Remaining balance is a security deposit for developer implementation of bus only access to Terminal 5 Heathrow. Spend on supervision costs. Works complete, security to be refunded following maintenance period.
PT/278/74/209C	Yiewsley	Proposed Tesco development, Trout Road, Yiewsley 609/APP/2007/3744	120,300.26	120,300.26	117,300.26	117,300.26	0.00	3,000.00	0.00	Fees received for design checks for proposed junction works and carriageway widening at Trout Road. S278 agreement and technical approval pending. Further fees received & claimed for inspection works.
PT/278/76/198A *60	Uxbridge	Former Gas Works site (Kier Park), Cowley Mill Road, Uxbridge 3114/APP/2008/2497	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	0.00	Funds received as a security deposit for due and proper execution of highways improvements. S278 agreement.
PT/278/81/249E *84	Townfield	Fmr Glenister Hall, 119 Minet Drive, Hayes. 40169/APP/2011/243	6,000.00	6,000.00	2,000.00	2,000.00	0.00	4,000.00	0.00	Fees received for design checks and monitoring and supervision. £4,000 received as a security deposit to ensure highway works are carried out to a satisfactory standard. Fees claimed for design checks & monitoring.
PT/278/82/273A *87	Uxbridge South	Autoguild House (Lidl), 121 Cowley Rd, Uxbridge. 7008/APP/2010/2758	99,115.00	99,115.00	7,920.00	7,920.00	0.00	91,195.00	0.00	Fees received and claimed for design checks & monitoring of s278 works. £91,195 received towards upgrading of traffic lights at junction of Cowley Mill Road. £72,000 received as a security deposit to ensure highways works are carried out to a satisfactory standard. £5,920 received & claimed for design checks.
PT/278/83/283A *90	Uxbridge North	Former RAF Uxbridge, Hillingdon Road, Uxbridge 585/APP/2009/2752	253,636.00	253,636.00	222,136.00	222,136.00	0.00	31,500.00	0.00	£40,000 received and claimed for design checks & monitoring of 278 highway works. £31,500 received as a security deposit to ensure highway works are carried out to a satisfactory standard. £94,596 received and claimed by ECU towards fees associated with s278 agreement. Further £15,000 received and claimed towards design fees. £21,540 engineering fees claimed. £50k received and claimed for design checks for St Andrews roundabout.
PT/278/85 *93	Yiewsley	GSK Stockley Park, 5 Iron Bridge Road. 3057/APP/2012/2573	6,210.00	6,210.00	1,210.00	1,210.00	0.00	5,000.00	0.00	Fees received and claimed for design checks. £5,000 received as a security deposit to ensure highway works are carried out to an acceptable standard.
PT/278/103/370A *118	Uxbridge	Belmont House (formerly Senator Court), Belmont Road, Uxbridge. 68385/APP/2012/2398	56,171.39	56,171.39	4,936.53	4,936.53	0.00	51,234.86	0.00	Funds held as a returnable bond to ensure the satisfactory completion of the highway works associated with the development. £4,936.53 fees claimed for design for design checks.

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			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PT/278/95/40J *131	Botwell	Land at Thorn EMI Complex (Old Vinyl factory) - Gatefold Building 51588/APP/2011/2253	33,425.25	33,425.25	33,425.25	33,425.25	33,425.25	0.00	0.00	£33,397.14 received as a returnable deposit sum. Funds to be returned with interest on satisfactory completion of the works.
PT/278/107/355E *132	Botwell	Former EMI site, Dawley Road (Prologis), Hayes. 8294/APP/2015/1406	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	0.00	£5,000 received as the highways deposit sum to ensure satisfactory completion of the works. Any unspent funds to be returned to the developer on completion.
PT/278/108/378C *133	Townfield	27 Uxbridge Rd.(Hayes Gate House) 2385/APP/2013/2523	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	0.00	£5,000 received as the highways deposit sum to ensure satisfactory completion of the works. Any unspent funds to be returned to the developer on completion.
PT/278/109/403 *144	Botwell	Former Hayes Swimming Pool, Botwell Lane, Hayes (Lidl) 1942/APP/2015/4127	135,000.00	135,000.00	0.00	0.00	0.00	135,000.00	0.00	£135,000 received as the highways deposit sum to ensure satisfactory completion of the works. Any unspent funds to be returned to the developer on completion.
PT/278/116 /405 *150	Botwell	Mercury House, Plot 6 Millington Road, Hayes (Premier Inn) 22632/APP/2016/2369	16,044.73	16,044.73	4,500.00	4,500.00	0.00	11,544.73	0.00	£11,544.73 received as the highway security deposit sum to ensure satisfactory completion of the works. £4,500 received and claimed for fees and design checks.
PT/278/124 *154	Yeadon	S278, Garage site at Hornbeam Road, Hayes 70799/APP/2015/3696	7,500.00	7,500.00	6,500.00	6,500.00	6,500.00	1,000.00	0.00	£5,000 received as the highway security deposit sum to ensure satisfactory completion of the works. £2,500 received for fees and design checks. £4,000 transferred to cover unpaid legal fees. £2,500 transferred to cover fees. Remaining balance to be returned to developer on satisfactory completion of highway works.
PT/278/125 *155	Yeadon	S278, Garage site at Larch Crescent, Hayes 70799/APP/2015/3696	7,500.00	7,500.00	2,500.00	2,500.00	2,500.00	5,000.00	0.00	£5,000 received as the highway security deposit sum to ensure satisfactory completion of the works. £2,500 received for fees and design checks. £2,500 transferred Q3 to cover fees.
PT/278/126/390F *162	West Drayton	S278 Fmr Anglers Retreat PH, Cricketfield Road, West Drayton	32,868.00	32,868.00	0.00	0.00	0.00	32,868.00	0.00	Funds received as a security deposit for due and proper execution of highways improvements.
PT/278/127/417B * 163	West Drayton	Grand Union Office Park, Packet Boat Lane, West Drayton 1197/APP/2015/4164	34,386.33	0.00	0.00	0.00	0.00	34,386.33	0.00	£34,386.33 received as highway security deposit sum to ensure satisfactory completion of the works.
		SECTION 278 SUB - TOTAL	1,897,832.10	1,863,445.77	1,071,920.50	1,071,920.50	42,425.25	825,911.60	0.00	
		SECTION 106								
		PORTFOLIO: PLANNING TRANSPORTATION AND RECYCLING								
PT/05/04a *2	Heathrow Villages	BA World Cargo / 50045A/95/1043	339,111.08	339,111.08	212,469.24	212,469.24	0.00	126,641.84	0.00	The balance is for improvements to public transport serving the south side of London Heathrow. Any scheme supported by these funds should provide a significant benefit to BA employees in the vicinity of Heathrow and the views of the Heathrow Transport Forum sought in determining any scheme. No time limits. BAA proposal for upgrade of bus services to the south side of Heathrow. S106 funding (from this case and PT/05/4b) would be used to 'pump prime' these services. £210,000 allocated to enhancements to 350 and 423 bus services (Cabinet Member decision 21/10/09). Enhanced services commenced December 09. £70,084 payment to London Buses (bus service agreement 09/10). Year 2 & 3 payments to London buses (£70.084). £23.5k allocated towards a pedestrian crossing facility on the A4 Colnbrook By-Pass (Cabinet Member Decision (29/03/2012). £2,217 paid towards upgrade of crossing facility on A4.
PT/05/04b *2	Heathrow Villages	BA World Cargo / 50045A/95/1043	406,331.57	406,331.57	173,645.35	173,645.35	0.00	232,686.22	0.00	The balance is for improvements to public transport serving London Heathrow. Any scheme supported by these funds should provide a significant benefit to BA employees in the vicinity of Heathrow and the views of the Heathrow Transport Forum are to be sought in determining any scheme to be funded. See update to PT/05/04a above regarding the remainder of the balance. No time limits.

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			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PT/37/40B-C (see: PPR/29)	Botwell	Land at Thorn EMI Complex - Highways Works & Environmental Improvements 51588/APP/2000/366&1418 (Old Vinyl Factory 5987/APP/2012/1893)	559,443.43	559,443.43	483,904.27	478,904.27	5,000.00	75,539.16	0.00	Project 40B- New agreement signed 19/04/13. Funds to be used towards public realm improvements in the vicinity of the site and Hayes Town Centre (see agreement for further details). No time limit for spend. £838.48 (remaining balance from PT/37/40F) transferred to PT/278/47. £12,500 allocated towards lighting scheme in Blyth Road. £100,000 allocated towards Hayes Town Centre Improvements (Cabinet Member Decision 19/06/2015). Remaining balance (£74,928) allocated towards public realm improvements in Blyth Road area (Cabinet Member Decision 28/08/2017). £100,000 spent towards Hayes Town Centre Scheme, end of year closing 2017/18. £5,000 spent towards Blyth Road lighting scheme Q4 2018/19 (scheme complete).
PT37/40E *47	Botwell	Land at Thorn EMI Complex - Parking 51588/APP/2000/366&1418 (Old Vinyl Factory 5987/APP/2012/1838)	32,805.42	32,805.42	0.00	0.00	0.00	32,805.42	0.00	Project 40E - £30,000 received for controlled parking in Blyth Road area. New agreement signed 19/04/13. Funds held to be used towards controlled parking zones in the vicinity of the development or if not required, towards the same purpose as PT/37/40B above. Allocated towards public realm improvements in Blyth Road area (Cabinet Member Decision 28/08/2017). No time limit for spend.
PT/42/41	Heathrow Villages	Temp Stockpiling at Bedfont Court. 47853/SPP/2003/113	50,000.00	50,000.00	0.00	0.00	0.00	50,000.00	0.00	£50,000 for landscape enhancement on specified land around the development. Unexpended funds at 19 June 2006 were to be repaid to the developer. Following consultations with BAA it has been agreed to spend the funds as part of the Colne Valley project. Deed of variation has been secured to remove time limits.
PT/54/21C	Botwell	Former EMI Site, Dawley Road - Landscaping 6198/BS/98/1343	57,000.00	57,000.00	0.00	0.00	0.00	57,000.00	0.00	£50,000 for Landscaping on adjacent land and £7,000 for maintenance of the landscaping works. Funds to be held for landscaping in accordance with the agreement subject to Crossrail. No time constraints.
PT/61/89B (see: E/35)	West Drayton	LHR Training Centre, Stockley Close / 51458/97/1537	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	0.00	£25,000 for improvements at the junction of Stockley Road & Stockley Close / Lavender Rise, West Drayton. Scheme provided using TfL funding. Further improvements to area have been implemented as part of the MOD development. Funds to be held as contingency for any works required to the junction arising out of the MOD development. No time constraints.
PT/65/74A (see EYL/40, E/20 & E/21)	Uxbridge North	Land at Johnson's Yard (former garage site), Redford Way, Uxbridge - Street Lighting 53936/APP/2002/1357	18,893.88	18,893.88	17,871.38	17,871.38	0.00	1,022.50	0.00	Street lighting according to the agreement drawing. No time constraints. Expenditure due to commencement of project for street lighting on Redford Way at Johnson's Yard. Columns & lanterns installed and working. Unable to install column in footpath leading to the high Street. Last column installed, Connection by Southern Electric were programmed for July 07. Columns all connected but require painting. Officers chasing painting contractor to progress. Painting completed - final invoices paid. Final balance to be confirmed after closure of 08/09 financial year accounts.
PT/80/112 (formerly PT278/05)	Uxbridge South	Grand Union Park, Packet Boat Lane, site ref: 1197 (various applications)	47,774.85	47,774.85	2,228.56	2,228.56	0.00	45,546.29	0.00	No time constraints. Officers looking into project for spend of balance at junction of Packet Boat Lane & Cowley High Street. Cabinet Member for P&T concerned with affect of proposal and blind road bend heading towards Uxbridge. Funds to be held until sight lines are resolved.
PT/82/114 (formerly PT278/23)	Uxbridge South	Waterloo Road, Uxbridge - Highway Works / 332BD/99/2069	13,169.44	13,169.44	11,577.00	11,577.00	0.00	1,592.44	0.00	Highway Works for alternative traffic management on Waterloo Road. No time limits. Cabinet Member for Planning & Transportation has approved use of funds to extend the Uxbridge South Parking Management Scheme approved. Implementation occurred in the Autumn. £11k spend on Waterloo Road from the Parking Revenue Account to be recharged to this case for next quarter. Recharge completed.

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PT84/87B-D (Formerly part of PT278/44)	Brunel	Brunel s106 16 April 04 532/SPP/2002/2237	27,614.47	27,614.47	15,164.48	15,164.48	0.00	12,449.99	0.00	£3,000 + interest for monitoring of landscape management plan (87B), £10,000 + interest for monitoring of green travel and public transport obligations (87D), and £200 + interest initial payment associated with footpath works to be undertaken by Council (87C). Engineers inspected site to ascertain whether works are required & whether further payments are due late Jan 2006. Officers chasing Brunel to provide a disabled ramp from the back of the privately owned footway at Hillingdon Hill. Interest accrued. £10k plus interest received for improvements (including lighting) to the footpath alongside the River Pinn linking 'Site 2' to Uxbridge Road. Footpath works complete, security deposit plus interest returned.
PT/88/140F *46	Pinkwell	MOD Records Office, Stockley Road, Hayes - Parking 18399/APP/2004/2284	74,089.77	74,089.77	64,089.77	64,089.77	0.00	10,000.00	10,000.00	Funds received for parking management system in Bourne Avenue and surrounding streets of the new and existing estate roads. There are currently no plans to consult with residents of the area on a Parking Management Scheme. However, any resident objections to increases in commuter parking on residential roads generated by the development may give reason to spend these funds. Officers continue to monitor the parking situation. Funds must be spent within 7 years following date of receipt i.e. Dec 2013. No parking scheme has been requested and time limit has now passed. Officers in contact with developer. Contribution required to be returned. Funds returned to developer as agreed towards a transport study on Stockley Road, to assess the traffic impact of their developments. £10,000 retained, earmarked towards lighting improvements in Bourne Avenue, subject to formal allocation.
PT/102/161D	Yiewsley	Honeywell Site, Trout Road Yiewsley 335/APP/2002/2754	77,151.50	77,151.50	68,448.16	68,448.16	0.00	8,703.34	0.00	Funds received towards public transport and community facilities initiatives in the West Drayton area. Funds to be spent by September 2014. Funds allocated towards public transport initiatives in the West Drayton area to include bus stop accessibility and enhancement of the pedestrian link along Tavistock Road to West Drayton Station and bus interchange (Cabinet Member Decision 22/04/2014). Scheme completed September 2014, £10,000 can be retained towards other schemes related to the development. Remaining balance allocated towards West Drayton Station Complimentary measures (Cabinet Member Decision 13/03/2018).
PT/104/147H	West Drayton	DERA Site, Kingston Lane, West Drayton 45658/APP/2002/3012	10,000.00	10,000.00	0.00	0.00	0.00	10,000.00	0.00	Funds received for the installation and maintenance of CCTV cameras on the site as specified in the relevant planning permission. Cameras to be installed by the developer. Funds to be retained as security. No time constraints.
PT/110/198B *61	Uxbridge	Former Gas Works Site (Kier Park) at Cowley Mill Road, Uxbridge - Bond 3114/APP/2008/2497	14,240.00	14,240.00	0.00	0.00	0.00	14,240.00	0.00	Travel Plan Bond received to ensure compliance by the owner for monitoring and reporting in accordance with the travel plan. To be refunded after 10 years.
PT/111/204A *63	Uxbridge	106, Oxford Road, Uxbridge. 26198/APP/2008/2338	20,087.00	20,087.00	20,087.00	20,087.00	20,087.00	0.00	0.00	Travel Plan Bond received to ensure compliance by the tenant of its monitoring and reporting obligations in accordance with the travel plan. Returnable. Travel Plan Monitoring satisfactorily completed. Bond returned with accrued interest.
PT/115/209B	Yiewsley	Tesco, Trout Road, Yiewsley. 60929/APP/2007/3744	4,850.00	4,850.00	1,500.00	0.00	1,500.00	3,350.00	0.00	Contribution received for the purpose of the purpose of setting up a car club. Funds to be spent within 5 years of receipt (March 2015). Allocated towards setting up Hertz car club in Trout Road (Cabinet Member Decision 7/02/2014). Approved scheme not viable. DOV signed 24/10/17. Funds to be used towards another sustainable transport project. Spend by March 2020. Funds allocated towards school air quality engagement and additional cycle parking facilities in Yiewsley Town Centre (Cabinet Member Decision 11/12/2018). Cycle parking implemented Feb 2019 (£1,500 spent Q4).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PT/122/248A	Uxbridge	97 Oxford Road, Highbridge Park, Uxbridge. 38074/APP/2008/1418	54,486.29	54,486.29	54,326.67	54,326.67	7,506.02	159.62	0.00	Contribution received towards street scene improvements within the vicinity of the land. Funds to be spent within 5 years of receipt (July 2016). Funds allocated towards phase 2 of Uxbridge gateway scheme (Cabinet Member Decision 17/12/2015). Scheme substantially completed July 2016. balance due to cost savings made, remaining funds be used to upgrade street lighting in line with original scheme. Lighting Scheme substantially completed March 2018. Final invoice received. Remaining balance deminimus. Scheme closed.
PT/125/242C	West Drayton	Drayton Garden Village (fmr NATS site), Porters Way, West Drayton. 5107/APP/2009/2348	457,092.63	457,092.63	125,000.00	125,000.00	125,000.00	332,092.63	82,092.63	£210,000 received as the phase 2 & 3 payments towards improvements and additions to TFL bus services within vicinity of the development (see legal agreement for further details). No time limits for spend. £159,910.54 received as the Phase 4 payment. £87,182 received this quarter as the final payment. £375,000 allocated towards improvements to the U5 bus services (Cabinet Member Decision 14/09/2017). Payment to TFL for first year of bus service operation 17/18 (£125,000).
PT/126/242D *82	West Drayton	Drayton Garden Village (fmr NATS site), Porters Way, West Drayton. 5107/APP/2009/2348	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Travel plan bond received to ensure compliance by the owner of its monitoring and reporting obligations. To be refunded after 10 years.
PT/128/276A	Townfield	Fmr Hayes FC, Church Road, Hayes. 4327/APP/2009/2737	22,155.20	22,155.20	22,155.20	15,476.02	6,679.18	0.00	0.00	Contribution received towards the provision of public transport infrastructure in the vicinity of the site. Measures considered include upgrade to bus stops, improvements to bus services and cycle ways (see agreement for further details). Funds to be spent within 7 years of receipt (9/7/2019). Funds allocated towards upgrading two bus shelters in Church Road (Cabinet Member Decision 22/06/2017). Scheme substantially complete March 2018. Final invoice received and paid this quarter.
PT/129/277A	Heathrow Villages	The Portal, Scylla Rd, Heathrow Airport. 50270/APP/2011/1422	20,579.41	20,579.41	0.00	0.00	0.00	20,579.41	0.00	Funds received towards co-ordinating and monitoring the green travel plan associated with the site. No time limits for spend.
PT/131/273B	Uxbridge South	Autoguild House (Lidl), 121 Cowley Rd, Uxbridge. 7008/APP/2010/2758	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	0.00	Funds received as the Travel Plan bond to be used by the Council to cover the Council's expenses in monitoring compliance by the owner with the travel Plan for a ten year period. Balance to be refunded after 10 years (2022).
PT/132/149J *88	Botwell	Hayes Goods Yard (High Point) 10057/APP/2005/2996 & 2999	15,000.00	15,000.00	0.00	0.00	0.00	15,000.00	0.00	Travel Plan bond received to ensure the completion by the owner of 3 travel surveys. £5,000 to be returned on completion of each survey.
PT/134/149L	Botwell	Hayes Goods Yard (High Point) 10057/APP/2005/2996 & 2999	12,500.00	12,500.00	12,500.00	0.00	12,500.00	0.00	0.00	Contribution received towards the maintenance of the towpath directly opposite the site (as defined in the agreement). Funds to be spent within 7 years of receipt (Nov 2019). Funds allocated towards appropriate maintenance works (Cabinet Member Decision 07/05/2015). Scheme completed Oct 2018.
PT/136/297A	Heathrow Villages	Fmr Technicolor Site, 276 Bath Rd, Sipson, West Drayton. 35293/APP/2009/1938	34,541.66	34,541.66	0.00	0.00	0.00	34,541.66	34,541.66	Contribution received towards the cost of upgrading the bus stops and the installation of drop kerbing/ tactile paving to enable pedestrian access over Bath Road in the vicinity of the site. Funds to be spent within 7 years of receipt (May 2020).
PT/138/300B *102	Townfield	Fmr Powergen Site, North Hyde Gardens, Hayes 13226/APP/2012/2185	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Contribution received to be used by TFL to carry out required improvement works to the junction at The Parkway and Bulls Bridge Roundabout. No time limits
PT/139/300C	Townfield	Fmr Powergen Site, North Hyde Gardens, Hayes 13226/APP/2012/2185	15,000.00	15,000.00	0.00	0.00	0.00	15,000.00	15,000.00	Contribution received towards improvements to the grand Union Canal frontage within the vicinity of Bulls Bridge. No time limits.
PT/140/315A	Pinkwell	Asda Unit 4 Westlands Estate, Millington Road, Hayes 32157/APP/2011/872	458,800.00	458,800.00	0.00	0.00	0.00	458,800.00	0.00	Contribution to be used towards (but not limited to) the provision of footway and public realm improvements between the land and Hayes Town Centre. No time limits for spend. Funds allocated towards works to improve the link between the Asda store & Hayes Town Centre (Cabinet Member Decision 24/08/2017).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PT/144/198H	Uxbridge South	Former Gas Works site (Kier Park) Cowley Mill Road, Uxbridge 3114/APP/2012/2881	40,635.00	40,635.00	16,803.97	1,025.00	16,803.97	23,831.03	0.00	Funds received as the "reduced public transport contribution" to be applied towards the hopper bus service or other public transport links relating to the site (see legal agreement). Funds to be spent within 7 years of receipt (May 2021). Funds allocated towards footway improvements on Cowley Mill Road to improve pedestrian access to bus stops (Cabinet Member Decision 02/06/2017). Scheme completed awaiting invoices. Final invoice received this quarter.
PT/145/198J	Uxbridge South	Former Gas Works Site (Kier Park) at Cowley Mill Road, Uxbridge 3114/APP/2008/2497	20,317.00	20,317.00	0.00	0.00	0.00	20,317.00	20,317.00	Contribution received towards the provision or improvement of cycling in the vicinity of the site in accordance with the Council's adopted cycleway strategy. Funds to be spent within 7 years of receipt (May 2021).
PT/146/198K	Uxbridge South	Former Gas Works Site (Kier Park) at Cowley Mill Road, Uxbridge 3114/APP/2008/2497	66,016.03	66,016.03	66,016.03	66,016.03	0.00	0.00	0.00	Funds received towards the reconstruction of the footway and kerbing on both sides of Cowley Mill Road between the site access and Cowley Road, together with minor improvements to the footway and kerbing on the eastern side of Waterloo Road. Funds to be spent within 7 years of receipt (May 2021). Funds allocated towards footpath scheme (Cabinet Member Decision 01/03/2016). Scheme complete. Balance £14,97 (diminimus) transferred to PT/44
PT/149/325C *161	West Drayton	Stockley Close Units 1623 & 1685 51458/APP/2013/2973	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan contribution. For use by the Council to complete any remedial measures to ensure compliance by the owner with the travel plan. Unused funds to be returned at the end of the monitoring period (10 years).
PT/150/344A	Uxbridge South	Building 63, Phase 500, Riverside Way, Uxbridge 56862/APP/2014/170	45,000.00	45,000.00	11,855.00	11,855.00	0.00	33,145.00	0.00	Contribution to be used by the Council to offset the shortfall in energy savings and enable the Council to make annual energy carbon savings elsewhere in the Authority's area. Funds to be spent within 5 years of receipt (July 2020). £11,500 used towards Compass Theatre scheme as part of end of year financing (retrospective Cabinet Member Decision 23/05/2016).
PT/151/345A	Uxbridge South	Charter Place, Vine Street, Uxbridge 30675/APP/2014/1345	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	0.00	Contribution received towards improvement of the area from the High Street through to Windsor Street to Charter Place (see agreement for details). Funds to be spent within 5 years of receipt (June 2020). Funds allocated towards public realm improvements in Windsor Street (Cabinet Member Decision 17/01/2019).
PT/152/344B *160	Uxbridge South	Building 63, Phase 500, Riverside Way, Uxbridge 56862/APP/2014/170	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan contribution. For use by the Council to complete any remedial measures to ensure compliance by the owner with the travel plan. Unused funds to be returned at the end of the monitoring period (10 years).
PT/153/345B *159	South Uxbridge	Charter Place, Vine Street, Uxbridge 30675/APP/2014/1345	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan contribution. For use by the Council to complete any remedial measures to ensure compliance by the owner with the travel plan. Unused funds to be returned at the end of the monitoring period (10 years).
PT/155/283D	Uxbridge North	Former RAF Uxbridge, Hillingdon Road, Uxbridge. 585/ APP/ 2009/2752	63,366.34	63,366.34	0.00	0.00	0.00	63,366.34	63,366.34	Contribution received as the first of two instalments towards the provision of bus stops serving the development, in line with the S106 Planning Obligations SPD 2008. Funds to be spent within 10 years of receipt (Oct 2025).
PT/157/355A *119	Botwell	Former EMI Site, Dawley Rd, Hayes 8294/APP/2015/1406	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned 10 years from occupation.
PT/158/371A *123	Heathrow Villages	272-276 Bath Rd, Hayes 464/APP/2014/2886	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned at the end of the monitoring period (10 years from occupation).
PT/159/372A	Yiewsley	Phase 3, Stockley Park, Stockley Road. 37977/APP/2015/1004	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	5,000.00	contribution received to fund a flood attenuation feasibility study for packet Boat Lane (see agreement for details). Funds to be spent within 7 years of receipt (Jan 2023).

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			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PT/160/354C *124	Botwell	Land on west side of Dawley Road, Hayes (EC House) 38065/APP/2014/2143	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned at the end of the monitoring period (10 years from occupation).
PT/161/373 *125	Townfield	Airlink House, 18-22 Pump Lane, Hayes 5505/APP/2015/1546	8,000.00	8,000.00	0.00	0.00	0.00	8,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned at the end of the monitoring period (10 years from occupation). Further £4,000 received as the second bond payment.
PT/162/249G	Townfield	Fmr Glenister Hall, 114 Minet Drive, Hayes 40169/APP/2011/243	2,500.00	2,500.00	0.00	0.00	0.00	2,500.00	2,500.00	Funds received towards the implementation of passing bays in Hunters Grove (if required). See agreement for details.
PT/163/40I	Botwell	Old Vinyl Factory, Blyth Rd, Hayes. 51588/APP/2000/1827 & 5987/APP/2012/1838	20,390.78	20,390.78	0.00	0.00	0.00	20,390.78	20,390.78	Contribution received towards the cost of upgrading the bus stops on Clarendon Road and providing Legible London signage in the vicinity of the site. Funds to be spent within 7 years of receipt (March 2023)
PT/164/374A	Botwell	Global Academy. Old Vinyl Factory, Blyth Road, Hayes. 59872/APP/2015/1798	120,000.00	120,000.00	0.00	0.00	0.00	120,000.00	120,000.00	Contribution to be used by TFL towards bus service improvements made necessary by the development, namely additional bus service provision on specified route serving the development and related infrastructure. Funds to be spent within 7 years of receipt (March 2023).
PT/165/374B *126	Botwell	Global Academy. Old Vinyl Factory, Blyth Road, Hayes. 5505/APP/2015/1546	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned at the end of the monitoring period (10 years from occupation).
PT/166/359B	Yiewsley	26-36 Horton Rd, Yiewsley 3507/APP/2013/2327	50,500.00	50,500.00	0.00	0.00	0.00	50,500.00	50,500.00	Contribution to be used by the Council towards the provision of CCTV; provision of lighting; closure/gating of paths and links; safety improvements to public transport interchanges; facilities and car parks; enhanced night bus networks to and from major new facilities and leisure uses within the Authority's area (see agreement for details). Spend within 7 years of receipt (Jan 2023).
PT/167/382A	West Drayton	Kichener House, Warwick Rd, West Drayton. 18218/APP/2013/2183	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	0.00	Contribution received towards the provision of improvements to West Drayton Railway Station and its surroundings, arising from the Cross Rail development. Funds to be spent within 10 years of receipt (April 2026). Funds allocated towards West Drayton Station Complimentary Measures (Cabinet Member Decision 13/03/2018).
PT/168/383A *127	Uxbridge North	Pavilions Shopping Centre, Chequers Square, Uxbridge (Primark). 35214/APP/2014/2232	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned at the end of the monitoring period (10 years from occupation).
PT/169/383B	Uxbridge North	Pavilions Shopping Centre, Chequers Square, Uxbridge (Primark). 35214/APP/2014/2232	20,000.00	20,000.00	20,000.00	0.00	20,000.00	0.00	0.00	Contribution received towards the enhancement of hard landscaping outside the entrance points of the building located on the land. Funds to be spent within 7 years of receipt (May 2023). Funds allocated towards Uxbridge Town Centre Improvements (Cabinet Member Decision 15/06/2018). Scheme completed summer 2018.
PT/172/384A	Yiewsley	Caxton House, Trout Road, Yiewsley. 3678/APP/2013/3637	15,304.81	15,304.81	0.00	0.00	0.00	15,304.81	0.00	Contribution received towards the cost of improvement works to the Grand Union Canal. No time limits for spend. Funds allocated towards canal towpath improvements between Stockley Park and Horton Bridge Road (Cabinet Member Decision 03/04/2018).
PT/173/386	Yiewsley	Stockley Country Park, Stockley Golf Course, Uxbridge. 37850/APP/2012/2739	6,660.00	6,660.00	0.00	0.00	0.00	6,660.00	6,660.00	Contribution received towards providing a digital topographically measured survey of the site, prior to importation of materials. (see agreement for details). No time limits for spend.

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			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PT/174/387A	Uxbridge North	Norwich Union House, 1-3 Bakers Road, Uxbridge 8218/APP/2011/1853	52,725.45	52,725.45	52,725.45	0.00	52,725.45	0.00	0.00	Funds received as the public realm/recreational open space contribution towards CCTV, provision of lighting ; rerouting of underused paths & links; safety improvements to public transport interchanges; safer town centres; night bus networks ; improvement to recreational open space in the Local Authority's area (see agreement for details). Funds to be spent within 7 years of receipt (Sept 2023). Funds allocated towards Uxbridge Town Centre Improvements (Cabinet Member Decision 15/06/2018). Scheme completed summer 2018.
PT/175/388 *134	Yiewsley	21 High Street, Yiewsley. 26628/APP/2014/675	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned at the end of the monitoring period (10 years from occupation).
PT/177/283F	Uxbridge North	Former RAF Uxbridge. Hillingdon Road, Uxbridge. 585/APP/2009/2752	287,124.74	287,124.74	0.00	0.00	0.00	287,124.74	287,124.74	Funds received as the first instalment of the St Andrews Roundabout contribution, to be used towards the works shown on plan number 2152-sk 52 attached to the agreement. Funds to be spent within 10 years of receipt of the last relevant payment.
PT/178/394A	Yiewsley	Padcroft Works, Tavistock Road, Yiewsley. 45200/APP/2014/3638	22,330.64	22,330.64	0.00	0.00	0.00	22,330.64	2,000.00	Funds received to be used towards canal side signage (£2000) and £20,000 towards improvements to the Grand Union Canal frontage. Funds to be spent within 7 years (Oct 2023). £20,330 allocated towards canal towpath improvements between Stockley Park and Horton Bridge Road (Cabinet Member Decision 03/04/2018).
PT/179/360C *138	Heathrow Villages	Former Unitair Centre, Great South West Road, Feltham. 49559/APP/2014/334	20,578.80	20,578.80	0.00	0.00	0.00	20,578.80	0.00	Funds to be used by the Council towards securing compliance with the Green Travel Plan and to co-ordinate and monitor the occupier Green Travel Plan for a period of 10 years.
PT/182/396A	Pinkwell	Unit 3, Millington Road, Hayes 32157/APP/2016/1696	30,000.00	30,000.00	0.00	0.00	0.00	30,000.00	30,000.00	Funds received as the "Highways Contribution" towards a study/transport/highway capacity improvements in the surrounding area. No time limit for spend.
PT/184/399B	Townfield	Unit A Bulls Bridge Centre, North Hyde Gardens, Hayes 13226/APP/2015/4623	30,000.00	30,000.00	0.00	0.00	0.00	30,000.00	30,000.00	Funds received as the "Transport Contribution" for the provision of transport matters related to the development. No time limits for spend.
PT/185/402A	Yiewsley	21 High St. Yiewsley 26628/APP/2014/675	22,620.29	22,620.29	0.00	0.00	0.00	22,620.29	0.00	Funds received towards improvements to the Grand Union Canal frontage within the vicinity of the site. No time limits for spend. Funds allocated towards canal towpath improvements between Stockley Park and Horton Bridge Road (Cabinet Member Decision 03/04/2018).
PT/186/402B	Yiewsley	21 High St. Yiewsley 26628/APP/2014/675	11,310.15	11,310.15	0.00	0.00	0.00	11,310.15	0.00	Funds received towards initiatives to improve Yiewsley Town Centre, located within the Authority's area. No time limit for spend. Funds allocated towards West Drayton Station Complimentary Measures (Cabinet Member Decision 13/03/2018).
PT/187/403A *141	Botwell	Fmr Hayes Swimming Pool, Botwell Lane, Hayes (Lidl) 1942/APP/2015/4127	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to be used by the Council to secure compliance with the travel plan if required. Any unspent funds to be returned at the end of the monitoring period (10 years).
PT/188/404A	Botwell	The Gatefold Building, land east of the former EMI site, Blyth Rd, Hayes 51588/APP/2011/2253	111,554.62	111,554.62	81,554.00	0.00	81,554.00	30,000.62	30,000.00	Funds received as the public realm contribution towards CCTV; provision of lighting, rerouting/closure of underused paths and links; safety improvements to public transport interchanges; environmental projects which contribute to safer town centres; enhancement night bus networks to and from major new facilities and leisure uses in the Authority's area. Funds to be spent within 7 years of receipt (April 2024). £81,554 from this contribution allocated towards Hayes Town Centre CCTV upgrade, as part of a Borough wide Scheme (Cabinet Member Decision 17/01/2019). CCTV scheme completed Autumn 2018.

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			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PT/189/405A	Pinkwell	Mercury House, Westlands Estate, North Hyde Road, Hayes (Premier Inn) 22632/APP/2016/2369	50,000.00	50,000.00	0.00	0.00	0.00	50,000.00	50,000.00	Funds received as the highways contribution to be used towards highway capacity improvements in the surrounding road network. Such improvements to incorporate air quality monitoring of the relevant road network. Funds to be spent within 7 years of receipt (June 2024)
PT/191/396C *145	Pinkwell	Unit 3, Millington Road, Hayes 32157/APP/2016/1696	40,000.00	40,000.00	0.00	0.00	0.00	40,000.00	0.00	Funds received as the travel plan sum (£20k each unit) to secure compliance with the travel plan. Unspent funds to be returned at the end of the monitoring period (10 years).
PT/192/242H	West Drayton	Fmr NATs Site, Drayton Garden Village, Porters Way, West Drayton 5107/APP/2009/2348	31,136.46	31,136.46	0.00	0.00	0.00	31,136.46	31,136.46	Funds received as the parking management contribution, to be used towards the cost of establishing a parking management scheme in the West Drayton Area. No time limits for spend.
PT/193/242I	West Drayton	Fmr NATs Site, Drayton Garden Village, Porters Way, West Drayton 5107/APP/2009/2348	249,091.68	249,091.68	0.00	0.00	0.00	249,091.68	0.00	Funds received as the "British Waterways contribution", to be used towards the cost of improvement works to the Grand Union Canal. No time limits for spend. Funds allocated towards towpath improvements on the Grand Union Canal between Horton Bridge Road and Trout Road, Yiewsley (Cabinet Member Decision 21/09/2018).
PT/194/403D	Botwell	Former Hayes Swimming Pool, Botwell Lane, Hayes (Lidl) 1942/APP/2015/4127	59,000.00	59,000.00	0.00	0.00	0.00	59,000.00	59,000.00	Funds received as the "Traffic Impact contribution", to be used by the Council towards bus service improvements, installation of land mark bus shelters on Church Road, installation of road signs in the vicinity of the development (see agreement for details). No time limits for spend.
PT/195/409A *147	Heathrow Villages	Fmr Contractor's Compound, South of Swindon Road, Heathrow Airport 67622/APP/2013/2532 & 67622/APP/2015/1651	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to be used by the Council to secure compliance with the travel plan if required. Any unspent funds to be returned at the end of the monitoring period (10 years).
PT/196/410	Uxbridge South	66 High Street (Fassnidge Park Hall), Uxbridge 12156/APP/2015/4166 & 12156/APP/2016/4647	109,503.00	109,503.00	109,503.00	0.00	109,503.00	0.00	0.00	Contribution received towards the improvement works in relation to the existing pedestrian link adjacent to the site, including street lighting, CCTV and realignment. No time limits for spend. Funds allocated towards Uxbridge Town Centre Improvements (Cabinet Member Decision 15/06/2018). Scheme completed autumn 2018.
PT/197/40N *148	Botwell	The Old Vinyl Factory, Blyth Road, Hayes 59872/APP/2012/1838 & 59872/APP/2013/3775	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to be used by the Council to secure compliance with the travel plan if required. Any unspent funds to be returned at the end of the monitoring period (10 years).
PT/198/414A	Hillingdon East	Abbotsfield & Swakeleys School, Clifton Gardens, Hillingdon 3505/APP/2015/3030	450,000.00	450,000.00	0.00	0.00	0.00	450,000.00	0.00	Contribution received to be used by TFL towards bus service improvements. Funds to be spent within 7 years of payment (March 2025).
PT/199/415A *151	West Drayton	West Drayton Police Station, Station Road, West Drayton 12768/APP/2016/1580 & 12768/APP/2014/1870	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years).
PT/200/414B	Hillingdon East	Abbotsfield & Swakeleys School, Clifton Gardens, Hillingdon 3505/APP/2015/3030	16,430.00	16,430.00	0.00	0.00	0.00	16,430.00	16,430.00	Contribution received to be used by TFL towards bus stop improvements along Long Lane. Funds to be spent within 7 years of payment (March 2025).
PT/201/404C *152	Hillingdon East	Abbotsfield & Swakeleys School, Clifton Gardens, Hillingdon 3505/APP/2015/3030	21,200.00	21,200.00	0.00	0.00	0.00	21,200.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years).
PT/202/417A *153	West Drayton	Grand Union Office Park, Packet Boat Lane, West Drayton 1197/APP/2015/4164	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years).
PT/203/400C *156	Heathrow Villages	World Business Centre, 4 Newall Road, Heathrow Airport 71487/APP/2015/4718 & 71478/APP/2017/1605	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years).
PT/204/419C *157	Heathrow Villages	Cessna Road, Terminal 2, Heathrow Airport 62360/APP/2015/4277	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PT/206/422A	Uxbridge North	Land rear of 85-87 Manor Waye, Uxbridge 67593/APP/2017/2114	2,000.00	2,000.00	0.00	0.00	0.00	2,000.00	0.00	Funds received towards the cost of implementing a stopping up order required under the agreement. No time limits for spend.
PT/207/423A	Heathrow Villages	1 Nobel Drive, Harlington, Hayes 46214/APP/2014/2827	12,600.00	12,600.00	0.00	0.00	0.00	12,600.00	12,600.00	Contribution received to be used by the Council towards off site carbon reduction measures, schemes and initiatives in order to mitigate the development. No time limit for spend.
PT/208/423B	Heathrow Villages	1 Nobel Drive, Harlington, Hayes 46214/APP/2014/2827	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years) .
PT/209/410B	Uxbridge South	66 High Street (Fassnidge Park Hall), Uxbridge 12156/APP/2015/4166 & 12156/APP/2016/4647	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years) .
PT/210/424A	Yiewsley	Land at Onslow Mills, Trout Road, West Drayton 1724/APP/2016/3513	5,745.78	5,745.78	0.00	0.00	0.00	5,745.78	5,745.78	Contribution to be used by the Council towards off site carbon reduction measures, schemes and initiatives in order to mitigate the harm caused by the development. No time limit for spend.
PT/211/425A	Yiewsley	Land rear of 2-24 Horton Road, West Drayton 71582/APP/2016/4582	26,083.36	25,000.00	0.00	0.00	0.00	26,083.36	26,083.36	Contribution received towards landscaping works to the canal towpath in the vicinity of the site. Funds to be spent within 7 years of receipt (Dec 2025). Indexation received this quarter.
PT/212/425B	Yiewsley	Land rear of 2-24 Horton Road, West Drayton 71582/APP/2016/4582	26,083.36	25,000.00	0.00	0.00	0.00	26,083.36	26,083.36	Contribution received towards the cost of carrying out highway works including Legible London finger posts and resurfacing the canal towpath adjacent to the site (see agreement for details). Funds to be spent within 7 years of receipt (Dec 2025). Indexation received this quarter.
PT/214/430A	Uxbridge South	Randalls 7-9 Vine St, Uxbridge 41309/APP/2016/3391	33,304.30	0.00	0.00	0.00	0.00	33,304.30	33,304.30	Contribution received towards off-site carbon reduction measures to mitigate the development. No time limit for spend.
PT/215/430B	Uxbridge South	Randalls 7-9 Vine St, Uxbridge 41309/APP/2016/3391	91,501.11	0.00	0.00	0.00	0.00	91,501.11	91,501.11	Funds received as the town centre contribution. No time limit for spend.
PT/216/427A	Uxbridge South	Waterloo Wharf, Waterloo Road, Uxbridge 43016/APP/2016/2840	31,182.67	0.00	0.00	0.00	0.00	31,182.67	31,182.67	Contribution received towards off-site carbon reduction measures, schemes and initiatives to mitigate the development. No time limit for spend.
PT/217/427B	Uxbridge South	Waterloo Wharf, Waterloo Road, Uxbridge 43016/APP/2016/2840	31,581.65	0.00	0.00	0.00	0.00	31,581.65	31,581.65	Contribution received to be used by the Canals & Rivers Trust towards canalside improvement works to the canalside land (shown on plan attached to the agreement). Works to include towpath and access improvements. No time limit for spend.
PT/218/297E	Heathrow Villages	Fmr Technicolor Site, 276 Bath Rd, Sipson. 35293/APP/2009/1938	20,000.00	0.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to be used by the Council to secure compliance with the travel plan if required. Any unspent funds to be returned at the end of the monitoring period (10 years) .
PT/219/429A	Botwell	Fmr Nestle Factory, Nestle Avenue, Hayes (Industrial) 1331/APP/2017/1883	6,000.00	0.00	0.00	0.00	0.00	6,000.00	6,000.00	Contribution received as the " Industrial land Legible London contribution " towards the provision of Legible London signage in the vicinity of the developemnt. Funds to be spent within 10 years of receipt (March 2029).
PT/220/429B	Botwell	Fmr Nestle Factory, Nestle Avenue, Hayes (Residential) 1331/APP/2017/1883	101,716.12	0.00	0.00	0.00	0.00	101,716.12	101,716.12	Funds received as the first instalment of the "Bulls Bridge Contribution " towards highway and traffic improvements to the Bulls Bridge Roundabout. Funds to be spent within 10 years of receipt.
PT/221/429C	Botwell	Fmr Nestle Factory, Nestle Avenue, Hayes (Residential) 1331/APP/2017/1883	4,577.23	0.00	0.00	0.00	0.00	4,577.23	4,577.23	Contribution received as the " Residential land Legible London contribution " towards the provision of Legible London signage in the vicinity of the developemnt. Funds to be spent within 10 years of receipt (March 2029).
		PLANNING TRANSPORTATION & RECYCLING SUB - TOTAL	5,793,388.97	5,471,359.17	1,643,424.53	1,338,183.93	458,858.62	4,149,964.44	1,336,435.19	

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
		PLANNING TRANSPORTATION & RECYCLING TOTAL	7,691,221.07	7,334,804.94	2,715,345.03	2,410,104.43	501,283.87	4,975,876.04	1,336,435.19	
PORTFOLIO: EDUCATION AND CHILDREN'S SERVICES										
EYL/230/283C	Uxbridge North	Former RAF Uxbridge, Hillingdon Road, Uxbridge. 585/ APP/ 2009/2752	5,310,222.76	3,909,383.23	5,310,222.76	3,909,383.23	1,400,839.53	0.00	0.00	£2,545,734 received as the first instalment towards providing education, educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces. Contribution to be spent within 10 years of receipt. Funds spent towards Council's School Expansion Programme as part of end of year financing 2015/16 (Cabinet Member Decision 06/01/2017 (retrospective). Further £1,363,649 received as the second instalment. Funds allocated and spent towards School Capital Programme 2017/18 . Third instalment (£1,44,839.53) received and spent this quarter towards School Capital Programme 2018/19 (Cabinet Member Decision 27/02/2018).
EYL/244/404B	Botwell	The Gatefold Building, land east of the former EMI site, Blyth Rd, Hayes 51588/APP/2011/2253	484,838.12	317,846.12	317,846.12	155,239.41	162,606.71	166,992.00	166,992.00	Funds received towards providing educational improvements or facilities in the Authority's area to included new school facilities, improvements to existing school facilities to accommodate extra children, improvement and expansion to playground and external leisure spaces (see agreement for details). Funds to be spent within 7 years of receipt (April 2024). £155,239.41 allocated and spent towards the School Capital Programme 2017/18 (Cabinet Member Decision 27/02/2018). Further £162,606.71 received as the second education instalment. £162,606.71 allocated and spent towards School Capital Programme (Vyners School expansion), Cabinet Member Decision 27/02/2019. Final education instalment (£166,992) received this quarter.
EYL/248/418A	Botwell	20-30 Blyth Road, Hayes 1425/APP/2011/3040	266,003.43	266,003.43	266,003.43	0.00	266,003.43	0.00	0.00	Funds received towards providing educational improvements or facilities in the Authority's area to included new school facilities, improvements to existing school facilities to accommodate extra children, improvement and expansion to playground and external leisure spaces (see agreement for details). Funds to be spent within 7 years of receipt (May 2025). Funds allocated and spent towards School Capital Programme (Vyners School expansion), Cabinet Member Decision 27/02/2019).
EYL/249/420A	Townfield	Fmr Kings Arms PH, 109 Coldharbour Lane, Hayes 10954/APP/2011/1997	65,178.15	65,178.15	65,178.15	0.00	65,178.15	0.00	0.00	Funds received towards providing educational improvements or facilities in the Authority's area to included new school facilities, improvements to existing school facilities to accommodate extra children, improvement and expansion to playground and external leisure spaces (see agreement for details). No time limits. Funds allocated and spent towards School Capital Programme (Vyners School expansion), Cabinet Member Decision 27/02/2019).
		EDUCATION, YOUTH AND LEISURE SUB - TOTAL	6,126,242.46	4,558,410.93	5,959,250.46	4,064,622.64	1,894,627.82	166,992.00	166,992.00	
PORTFOLIO: COMMUNITY, COMMERCE AND REGENERATION										
PPR/47/26A (formerly PT/56/26A)	Botwell	Trident Site, Phase 3 Stockley Park - Hayes Hub/H50 & Botwell Common Road Zebra Crossing 37977/P/94/335	2,601,600.00	2,601,600.00	1,808,071.42	1,808,071.42	0.00	793,528.58	0.00	See Cabinet report 18 December 2003. Balance allocated to Hayes & Harlington Station Improvements and associated interchange initiatives. Project on-hold due to design issues. Officers investigating alternative improvements to area around the station. No time limits. Funds earmarked towards improvements to the public transport interchange and public realm improvements as part of the Crossrail/Hayes Town Centre Scheme. Funds allocated towards Hayes Town Centre Complimentary Measures (Cabinet Member Decision 24/08/2017).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PPR/49/174C	Heathrow Villages	Terminal 2, Heathrow 62360/APP/2006/2942	600,000.00	600,000.00	493,709.80	447,521.80	46,188.00	106,290.20	0.00	Contribution towards the Local Labour Strategy. £200,000 allocated to deliver the Strategy (Cabinet Member decision 27/10/10). £88,000 allocated and £42,900 spent towards Economic Development (ED) post within LBH 12/13 (Cabinet Member Decision 19/3/13). £44,100 spent towards E D post 2013/14. £91,323 allocated towards the continuation of the E D Officer Post. (Cabinet Member Decision 10/9/2014). £46,321 Spent towards E D Officer Post 2015/16. £150,000 received towards the same purpose (T2 instalments 2014/15, 15/16 and 16/17). £110,902 allocated towards Senior E D Officer Post (Cab Member Decision 10/02/2017). £46,300 spent towards Officer post 2016/17. T2 instalment (£50k) received (2017/18). T2 instalment received 2018/19. £54,500 spent towards Senior E D Post (2017/18). £92,376 allocated and £46,188 spent towards E D Officer post 2018/19 (Cabinet Member Decision 29/03/2019).
PPR/49/174D	Heathrow Villages	Terminal 2, Heathrow Airport. 62360/APP/2006/2942	531,426.00	531,426.00	450,000.00	450,000.00	0.00	81,426.00	0.00	Funds received towards the Local Labour Strategy, as defined in the agreement. No time limits. A total of £450,000 due to be received under this agreement has been allocated towards the Heathrow Academy Programme (Cabinet Member decision 19/11/12). Total of £261,000 paid towards Academy Programme 2012/13. Further £270,246 received towards the Programme. Total match funding towards Heathrow Academy Programme received and spent (2014).
PPR/53/149H	Botwell	Former Hayes Goodsyrd site. 10057/APP/2005/2996&299	6,000.00	6,000.00	2,000.00	2,000.00	0.00	4,000.00	0.00	£2,000 received towards the maintenance and operation by the Council of the station approach cameras. Funds spent towards operation of station cameras 09/10. Further £4,000 received as 2nd & 3rd annual instalments.
PPR/64/262C	Charville	Former Hayes End Library, Uxbridge Road, Hayes. 9301/APP/2010/2231	9,360.44	9,360.44	9,360.44	1,668.55	7,691.89	0.00	0.00	Funds received towards the provision of construction training courses delivered by recognised providers and the provision of a construction work placement coordinator within Hillingdon. No time limits. Funds allocated towards the services of a Construction Workplace Co-ordinator within the Borough (Cabinet Member Decision 19/3/13). £1,668.55 spent towards work place co-ordinator 2017/18. Remaining balance spent towards work place co-ordinator 2018/19.
PPR/69/276D	Townfield	Fmr Hayes FC, Church Road, Hayes 4327/APP/2009/2737	54,107.00	54,107.00	54,107.00	54,107.00	0.00	0.00	0.00	First instalment (£21,111.11) towards improvements to local community facilities within the Authority's area. Funds to be spent within 7 years of receipt (July 2019). £16,322 received as second instalment towards the same purpose (spend July 2020). Final instalment £16,673.28 received (spend by February 2022). Funds allocated and spent towards extension at Hayes & Harlington Community Centre (Cabinet Member Decision 16/02/2018). Remaining balance (0.14) diminimus, transferred to PT/44.
PPR/70/267C	Botwell	Fmr Ram PH, Dawley Rd, Hayes 22769/APP/2010/1239	10,000.00	10,000.00	8,883.47	8,883.47	0.00	1,116.53	0.00	Funds to be used for the purpose of improving community facilities in the vicinity of the development. No time limits for spend. Funds allocated towards upgrading cinema equipment at The Beck Theatre (Cabinet Member Decision 28/08/2014). Scheme complete, contribution not required, funds to be reallocated. Balance allocated towards accessibility improvements at the Beck Theatre (Cabinet Member Decision 28/06/2017). Scheme complete.
PPR/71/277C	Heathrow Villages	The Portal, Scylla Rd, Heathrow Airport 50270/APP/2011/1422	20,579.41	20,579.41	0.00	0.00	0.00	20,579.41	20,579.41	Contribution received towards public realm improvements in the vicinity of the development including, CCTV, footpath safety, safer town centres, public transport interchange facilities (see agreement for details). Further contribution received towards the same purpose. No time limits for spend.
PPR/72/277D	Heathrow Villages	The Portal, Scylla Rd, Heathrow Airport. 50270/APP/2011/1422	51,609.49	51,609.49	0.00	0.00	0.00	51,609.49	51,609.49	Contribution received towards training persons within the locality of the development for jobs of a nature to be carried out within the development. Further contribution received towards the same purpose. No time limits for spend.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PPR/75/291A	West Drayton	Fmr Swan PH, Swan Road, West Drayton. 68248/APP/2011/3013	13,699.22	13,699.22	13,699.22	11,203.77	2,495.45	0.00	0.00	Contribution to be used towards construction training courses delivered by recognised providers and the provision of a work place co-ordinator within the authority's area. No time limits. £1,939 spent towards Civic Centre apprentice scheme and £4,330.05 towards Partnership Team to support construction training in the Borough (Cabinet Member Decision 10/05/2017). £4,934.72 spent towards apprenticeship scheme (2017/18). £2,495 spent towards Partnership Team core budget (2018/19).
PPR/80/297B	Heathrow Villages	Fmr Technicolor Site, 276 Bath Rd, Sipson. 35293/APP/2009/1938	46,055.55	46,055.55	0.00	0.00	0.00	46,055.55	46,055.55	Funds received towards public realm improvement works to be delivered within the vicinity of the land. Funds to be spent within 7 years of receipt (May 2020).
PPR/81/81/297C	Heathrow Villages	Fmr Technicolor Site, 271 Bath Rd, Sipson. 35293/APP/1938	16,695.14	16,695.14	0.00	0.00	0.00	16,695.14	16,695.14	Contribution received towards the provision of training in the hospitality and leisure industry (see agreement for further details). Funds to be spent within 7 years of receipt (May 2020).
PPR/87/303C	Botwell	70 Wood End Green Rd, Hayes 5791/APP2012/408	7,731.96	7,731.96	7,731.96	0.00	7,731.96	0.00	0.00	Contribution received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's Area. No time limits. Funds allocated towards Partnership Team core budget to support construction training in the Borough (Cabinet Member Decision 10/05/2017).
PPR/85/306B	Hillingdon East	Fmr Knights of Hillingdon, Uxbridge 15407/APP/2009/1838	7,875.62	7,875.62	5,596.55	0.00	5,596.55	2,279.07	0.00	Contribution received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator serving the locality of the development. No time limits. Funds allocated towards Partnership Team core budget to support construction training in the Borough (Cabinet Member Decision 10/05/2017). £5,596 spent towards Partnership Team core budget 2018/19.
PPR/88/325A	West Drayton	Stockley Close Units 1623 & 1685 51458/APP/2013/2973	20,713.00	20,713.00	20,713.00	0.00	20,713.00	0.00	0.00	Funds received as the "construction training scheme shortfall costs" & the "co-ordinator costs" towards construction training courses delivered by recognised providers and provision of a construction work place co-ordinator within the Authority's Area. Funds to be spent within 5 years of receipt (April 2019). Funds allocated towards on site construction training schemes at Grassy Meadows and Parkview (Cabinet Member Decision 14/06/2017). Training schemes completed 2018/19.
PPR/92/333B	Yiewsley	39 High Street, Yiewsley 24485/APP/2013/138	22,543.13	22,543.13	0.00	0.00	0.00	22,543.13	0.00	Contribution received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator serving the locality of the development. No time limits. Funds allocated towards Partnership Team core budget to support construction training in the Borough (Cabinet Member Decision 10/05/2017)
PPR/93/333C	Yiewsley	39 High Street, Yiewsley 24485/APP/2013/138	25,010.10	25,010.10	0.00	0.00	0.00	25,010.10	0.00	Contribution received as the "public realm contribution" towards the provision of CCTV, lighting, closure/gating of paths and links, safety improvements to public transport interchanges, facilities, and car parks, enhanced night bus networks to and from major new facilities and leisure uses within the authority's area. No time limits for spend. Allocated towards public realm improvements at West Drayton Station as part of Crossrail Project (Cabinet Member Decision 13/03/2018).
PPR/96/347B	North Uxbridge	Honeycroft Day Centre, Honeycroft Hill, Uxbridge 6046/APP/2013/1834	24,335.69	24,335.69	24,335.69	0.00	24,335.69	0.00	0.00	Contribution received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent/committed within 7 years of receipt (May 2022). Funds allocated towards on site construction training schemes at Grassy Meadows and Parkview (Cabinet Member Decision 14/06/2017). Training schemes completed 2018/19.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PPR/97/314C	Pinkwell	Hyde Park Hayes, Dawley Road, Hayes (HPH4 & 5) 40652/APP/2012/2030	10,000.00	10,000.00	10,000.00	0.00	10,000.00	0.00	0.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limits for spend. Funds allocated towards on site construction training schemes at Grassy Meadows and Parkview (Cabinet Member Decision 14/06/2017). Training schemes completed 2018/19.
PPR/101/348D	Uxbridge North	Lancaster & Hermitage Centre, Lancaster Road, Uxbridge. 68164/APP/2011/2711	3,331.89	3,331.89	0.00	0.00	0.00	3,331.89	3,331.89	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limits for spend.
PPR/102/354A	Botwell	Land on west Side of Dawley Road, Hayes (E C House). 38065/APP/2014/2143	9,644.70	9,644.70	9,644.70	0.00	9,644.70	0.00	0.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 7 years of receipt (Sept 2022). Funds allocated and spent towards LBH Apprenticeship Scheme 2018/19 (Cabinet Member Decision 29/03/2019).
PPR/103/356B	Yiewsley	Packet Boat House, Packet Boat Lane, Cowley 20545/APP/2012/2848	31,792.72	31,792.72	9,510.29	0.00	9,510.29	22,282.43	0.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 5 years of completion (June 2022). Funds allocated and £9,510 spent towards LBH Apprenticeship Scheme 2018/19 (Cabinet Member Decision 29/03/2019).
PPR/104/355B	Botwell	Formr EMI Site, Dawley Rd, Hayes 8294/APP/2015/1406	82,800.00	82,800.00	0.00	0.00	0.00	82,800.00	82,800.00	Contribution received towards investment in local energy efficiency and carbon reduction measures within the Authority's area. Spend within 7 years of receipt (Nov 2022).
PPR/105/355C	Botwell	Formr EMI Site, Dawley Rd, Hayes 8294/APP/2015/1406	9,600.00	9,600.00	0.00	0.00	0.00	9,600.00	9,600.00	Funds received towards the provision of a construction work place co-ordinator. Funds to be spent within 7 years of receipt (Nov 2022).
PPR/106/360A	Heathrow Villages	Fmr Unitair Centre, Great South West Rd, Feltham, 49559/APP/2014/334	9,984.00	9,984.00	0.00	0.00	0.00	9,984.00	0.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limit for spend. Funds allocated towards LBH Apprenticeship Scheme (Cabinet Member Decision 29/03/2019).
PPR/108/371B	Heathrow Villages	272-276 Bath Rd, Hayes 464/APP/2014/2886	19,600.00	19,600.00	0.00	0.00	0.00	19,600.00	19,600.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limit for spend.
PPR/109/378A	Townfield	Hayes Gate House, Uxbridge Road, Hayes 2385/APP/2013/2523	138,774.29	138,774.29	37,175.41	0.00	37,175.41	101,598.88	0.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 5 years of receipt (Jan 2021). Funds allocated towards the Construction Coordinator Service (Cabinet Member Decision 25/04/2018). £37,175 spent towards the Construction Coordinator Service 2018/19.
PPR/110/372B	Yiewsley	Phase 3, Stockley Park, Stockley Road. 37977/APP/2015/1004	9,600.00	9,600.00	0.00	0.00	0.00	9,600.00	9,600.00	Funds received as the "Phase 1 " payment towards the provision of a construction workplace coordinator within the Authority's area. Funds to be spent within 7 years of receipt (Jan 2023).
PPR/111/379A	Townfield	1-3 Uxbridge Rd, Hayes. 1911/APP/2012/3185	99,175.00	99,175.00	0.00	0.00	0.00	99,175.00	99,175.00	Funds received towards the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 7 years of receipt (March 2023).
PPR/113/274C	Botwell	Global Academy. Old Vinyl Factory, Blyth Road, Hayes. 5505/APP/2015/1546	9,600.00	9,600.00	0.00	0.00	0.00	9,600.00	9,600.00	Funds received towards the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 7 years of receipt (March 2023).
PPR/116/382C	West Drayton	Kitchener House, Warwick Rd, West Drayton. 18218/APP/2013/2183	16,769.78	16,769.78	0.00	0.00	0.00	16,769.78	16,769.78	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 10 years of receipt (April 2026).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PPR/117/283E	North Uxbridge	Pavilions Shopping Centre, Chequers Square, Uxbridge (Primark). 35214/APP/2014/2232	13,150.00	13,150.00	0.00	0.00	0.00	13,150.00	13,150.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 7 years of receipt (May 2023).
PPR/118/384C	Yiewsley	Caxton House, Trout Road, Yiewsley. 3678/APP/2013/3637	35,415.97	35,415.97	0.00	0.00	0.00	35,415.97	35,415.97	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limits for spend.
PPR/121/391	Brunel	Brunel University (AMCC2), Kingston Lane, Uxbridge. 532/APP/2015/350	24,559.38	24,559.38	0.00	0.00	0.00	24,559.38	24,559.38	Funds received towards the cost of providing construction training to residents in the local vicinity of the land. No time limits for spend.
PPR/122/387C	Uxbridge North	Norwich Union House, 1-3 Bakers Road, Uxbridge 8218/APP/2011/1853	32,443.83	32,443.83	0.00	0.00	0.00	32,443.83	32,443.83	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 7 years of receipt (September 2023).
PPR/123/390E	West Drayton	Former Angler's Retreat PH, Cricketfield Road, West Drayton 11981/APP/2013/3307	13,111.01	13,111.01	13,111.01	0.00	13,111.01	0.00	0.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 5 years of receipt (September 2021). Funds allocated and spent towards LBH Apprenticeship Scheme 2018/19 (Cabinet Member Decision 29/03/2019).
PPR/124/398A	Heathrow Villages	Building 717, Located Between Sheffield Way & Southern Perimeter Road, Heathrow. 50657/APP/2013/2214	24,000.00	24,000.00	0.00	0.00	0.00	24,000.00	24,000.00	Funds to be used towards (but not limited to) the cost of assisting relevant hotel and leisure industry related training course offered by recognised and accredited organisations such as Uxbridge College or other training providers in the Authority's area. Funds to be spent within 5 years of receipt (Nov 2021).
PPR/125/398B	Heathrow Villages	Building 717, Located Between Sheffield Way & Southern Perimeter Road 50657/APP/2013/2214	65,984.00	65,984.00	65,984.00	0.00	65,984.00	0.00	0.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 5 years of receipt (Nov 2021). Funds allocated towards construction training schemes at Hillside Infant & Junior School and Warrender Primary School (Cabinet Member Decision 31/08/2018).
PPR/126/396B	Pinkwell	Unit 3, Millington Road, Hayes 32157/APP/2016/1696	18,012.29	18,012.29	0.00	0.00	0.00	18,012.29	18,012.29	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limit for spend.
PPR/128/399A	Townfield	Unit A Bulls Bridge Centre, North Hyde Gardens. 13226/APP/2015/4623	12,100.00	12,100.00	0.00	0.00	0.00	12,100.00	12,100.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limit for spend.
PPR/130/403B	Botwell	Fmr Hayes Swimming Pool, Botwell Lane, Hayes (Lidl) 1942/APP/2015/4127	16,388.00	16,388.00	0.00	0.00	0.00	16,388.00	16,388.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limit for spend.
PPR/133/407	Heathrow Villages	IAG Cargo Campus, Sealand Road, Heathrow Airport 50045/APP/2016/2081	47,100.00	47,100.00	0.00	0.00	0.00	47,100.00	47,100.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limit for spend.
PPR/135/400B	Heathrow Villages	World Business Centre, 4 Newall Road, Heathrow Airport 71487/APP/2015/4718	9,600.00	9,600.00	0.00	0.00	0.00	9,600.00	9,600.00	Funds received towards the cost of providing a construction work place co-ordinator within the Authority's area. Funds to be spent within 7 years of receipt (Oct 2024).
PPR/136/409B	Heathrow Villages	Fmr Contractor's Compound, South of Swindon Road, Heathrow Airport 67622/APP/2013/2532 & 67622/APP/2015/1651	149,250.00	149,250.00	0.00	0.00	0.00	149,250.00	149,250.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 5 years of receipt (Dec 2023).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PPR/137	Heathrow Villages	Fmr Contractor's Compound, South of Swindon Road, Heathrow Airport 67622/APP/2013/2532 & 67622/APP/2015/1651	15,000.00	15,000.00	0.00	0.00	0.00	15,000.00	15,000.00	Funds received towards the cost of assisting relevant hotel and leisure industry related training courses offered by recognised and accredited organisations such as Uxbridge College or other training providers within the Authority's area. Funds to be spent within 5 years of receipt (Dec 2023).
PPR/138/412A	Botwell	Enterprise House, 133 Blyth Road, Hayes 11623/APP/2013/3606	91,331.24	91,331.24	0.00	0.00	0.00	91,331.24	91,331.24	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limits
PPR/139/415B	West Drayton	West Drayton Police Station, Station Road, West Drayton 12768/APP/2016/1580 & 12768/APP/2014/1870	9,600.00	9,600.00	0.00	0.00	0.00	9,600.00	9,600.00	Funds received towards the cost of providing a construction work place co-ordinator within the Authority's area. No time limit for spend.
PPR/140/420B	Townfield	Fmr Kings Arms PH, 109 Coldharbour Lane, Hayes 10954/APP/2011/1997	18,952.76	18,952.76	0.00	0.00	0.00	18,952.76	18,952.76	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limits.
PPR/141/419B	Heathrow Villages	Cessna Road, Terminal 2, Heathrow Airport 62360/APP/2015/4277	72,400.00	72,400.00	0.00	0.00	0.00	72,400.00	72,400.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 7 years of receipt (August 2025).
PPR/142/419C	Heathrow Villages	Cessna Road, Terminal 2, Heathrow Airport 62360/APP/2015/4277	12,000.00	12,000.00	0.00	0.00	0.00	12,000.00	12,000.00	Funds received towards the provision of recruitment, training and employment opportunities in the hotel, hospitality and leisure industry, to people residing in the Borough. Funds to be spent within 7 years of receipt (August 2025).
PPR/144/425C	Yiewsley	Land rear of 2-24 Horton Road, West Drayton 71582/APP/2016/4582	84,477.78	80,969.02	0.00	0.00	0.00	84,477.78	84,477.78	Funds received towards providing construction training courses delivered by recognised providers and the provision of a construction workplace coordinator within the Authority's area. Funds to be spent within 7 years of receipt (Dec 2025). Indexation received this quarter.
PPR/146/427C	Uxbridge South	Waterloo Wharf, Waterloo Road, Uxbridge 43016/APP/2016/2840	9,600.00	0.00	0.00	0.00	0.00	9,600.00	9,600.00	Funds received towards the provision of a construction workplace co-ordinator. No time limit for spend.
PPR/148/432	Uxbridge North	33-37 Belmont Road, Uxbridge 45222/APP/2015/4692	4,800.00	0.00	0.00	0.00	0.00	4,800.00	4,800.00	Funds received towards providing construction training courses delivered by recognised providers and the provision of a construction workplace coordinator within the Authority's area. Funds to be spent within 7 years of receipt (March 2026).
PPR/149/433A	Heathrow Villages	Renaissance London Heathrow Hotel, Bath Road 12004/APP/2018/2720	2,800.00	0.00	0.00	0.00	0.00	2,800.00	2,800.00	Funds received towards the provision of recruitment, training & employment opportunities in the hotel, hospitality and leisure industry to people residing in the Authority's area. No time limit for spend.
PPR/150/410C	Uxbridge South	66 High Street (Fassnidge Park Hall), Uxbridge 12156/APP/2015/4166 & 12156/APP/2016/4647	10,520.00	0.00	0.00	0.00	0.00	10,520.00	10,520.00	Funds received towards the provision of a construction workplace co-ordinator. No time limit for spend.
PPR/151/429D	Botwell	Fmr Nestle Factory, Nestles Avenue, Hayes (Industrial) 1331/APP/2017/1883	80,000.00	0.00	0.00	0.00	0.00	80,000.00	80,000.00	Contribution received as the "Industrial land employment & training contribution" to be used towards employment & training measures within the Authority's area. See agreement for Employment & Training Strategy. Funds to be spent within 10 years of receipt.
PPR/152/429E	Botwell	Fmr Nestle Factory, Nestles Avenue, Hayes (Residential) 1331/APP/2017/1883	61,029.67	0.00	0.00	0.00	0.00	61,029.67	61,029.67	Contribution received as the "Residential land employment & training contribution" to be used towards employment & training measures within the Authority's area. See agreement for Employment & Training Strategy. Funds to be spent within 10 years of receipt.
		COMMUNITY, COMMERCE & REGENERATION TOTAL	5,453,640.06	5,281,381.63	3,043,633.96	2,783,456.01	260,177.95	2,410,006.10	1,239,947.18	

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
PORTFOLIO: CENTRAL SERVICES, CULTURE & HERITAGE										
CSL/14/220	Townfield	Trescott House, Hayes . 36261/APP/2010/215	1,599.00	1,599.00	0.00	0.00	0.00	1,599.00	1,599.00	Funds received towards additional or improved library facilities in the vicinity of the site. No time limits.
CSL/26/249B	Townfield	Fmr Glenister Hall, Minet Drive, Hayes. 40169/APP/2011/243	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received towards the provision of necessary capacity enhancements at the Townfield Community Centre. No time limit for spend.
CSL/59/283E	Uxbridge North	Former RAF Uxbridge, Hillingdon Road, Uxbridge. 585/ APP/ 2009/2752	44,600.00	22,000.00	0.00	0.00	0.00	44,600.00	0.00	Funds received as the second instalment of the Library contribution (5 instalments due in total). Funds to be used towards the provision or improvement of library facilities and/or books within the Authority's area. Spend within 10 years of receipt (2027) . Earmarked towards Library refurbishment Programme. Third instalment £22,600 received this quarter. Spend within 10 years of receipt (2029).
CSL/68/404C	Botwell	The Gatefold Building, land east of the former EMI site, Blyth Rd, Hayes 51588/APP/2011/2253	33,466.39	33,466.39	0.00	0.00	0.00	33,466.39	33,466.39	Funds received as a contribution towards community facilities in the vicinity of the development. Funds to be spent within 7 years of receipt (April 2024).
CSL/69/404D	Botwell	The Gatefold Building, land east of the former EMI site, Blyth Rd, Hayes 51588/APP/2011/2253	6,426.65	4,213.13	2,057.74	2,057.74	0.00	4,368.91	4,368.91	Funds received towards the provision or improvement to library facilities and/or library books within the Authority's area. Funds to be spent within 7 years of receipt (April 2024). £2,057.74 allocated and spent towards the Library Book Fund 2017/18 (Cabinet Member decision 20/02/2018). Second instalment £2,155.39 received March 2018. Third and final instalment £2,213.52 received March 2019.
CSL/70/40L	Botwell	Old Vinyl Factory (Boiler House & Materials Store), Blyth Rd, Hayes. 59872/APP/2012/1838 & 59872/APP/2013/3775	8,633.28	8,633.28	0.00	0.00	0.00	8,633.28	8,633.28	Funds received towards the provision of library facilities within the Authority's area. Funds to be spent within 7 years of receipt (July 2024)
CSL/72/418B	Botwell	20-30 Blyth Road, Hayes 1425/APP/2011/3040	5,145.76	5,145.76	0.00	0.00	0.00	5,145.76	5,145.76	Funds received towards the provision of library facilities and /or library books within the Authority's area. Funds to be spent within 7 years of receipt (May 2025)
CSL/73/420C	Townfield	Fmr Kings Arms PH, 109 Coldharbour Lane, Hayes 10954/APP/2011/1997	954.47	954.47	0.00	0.00	0.00	954.47	954.47	Funds received towards the provision of library facilities and /or library books within the Authority's area. No time limits.
		CENTRAL SERVICES, CULTURE & HERITAGE - TOTAL	120,825.55	96,012.03	2,057.74	2,057.74	0.00	118,767.81	54,167.81	
PORTFOLIO: FINANCE PROPERTY & BUSINESS SERVICES										
E/02/18	West Drayton	Old Mill House, Thorney Mill Road, West Drayton 41706C/91/1904	59,556.42	59,556.42	55,657.45	55,657.45	0.00	3,898.97	0.00	Revenue cost (12K) spent. The balance is required for the establishment and management of a nature reserve on nearby land. Works identified and now awaiting quotations from contractors. Officers have liaised with London Wildlife Trust and contractors with regards to phasing of the works (access and conservation improvements) required to improve the nature reserve. Works have now been scheduled by the area officer. Spend towards tree and footpath works. Further spend towards maintenance works. There are no time constraints upon the expenditure of the funds.
E/28/71 (Formerly PT/40)	Botwell	Land at Hendrick Lovell, S.W of Dawley Road, Hayes 43554/C/92/787	12,692.00	12,692.00	267.81	267.81	0.00	12,424.19	0.00	Landscaping works (12.69K). Limited to specific area of land. Delays caused by land being in Stockley Park Consortium ownership. Green Spaces team is looking into the potential for a scheme within the parameters of the legal agreement. Site overgrown preventing planting trees in preferred location. The trees officer has suggested two locations on the site where they could be planted instead. Officers currently considering feasibility. No time constraints.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
E/38/153B	Heathrow Villages	Polar Park, Bath Road, Harmondsworth 2964/APP/2002/1436 & 1437	10,000.00	10,000.00	7,764.09	7,764.09	0.00	2,235.91	0.00	Funds received towards Air Quality initiatives within the vicinity of the site. No time constraints. Funds allocated towards two monitoring stations in vicinity of the site. (Cabinet Member Decision 22/6/2010). £7,764.09 spent towards air quality monitoring.
E/59/155F	West Drayton	Former RAF - Porters Way, West Drayton 5107/APP/2005/2082	20,000.00	20,000.00	9,291.00	9,291.00	0.00	10,709.00	0.00	Funds received towards the maintenance of play facilities at Stockley Recreation Ground (Mulberry Parade). £10,415 allocated towards costs incurred in maintaining the playground (Cabinet Member Decision 7/11/2012). Developer has agreed that the remaining balance can be retained and spent towards the continued maintenance of the play equipment (letter received June 2015).
E/69/246B	Botwell	561 & 563 Uxbridge Road, Hayes. 63060/APP/2007/1385	20,175.83	20,175.83	18,410.35	18,410.35	0.00	1,765.48	0.00	Contribution received towards the cost of improving Rosedale Park which adjoins the land. No time limit on spend. Funds allocated towards improvements at Rosedale Park (Cabinet Member Decision 08/06/2016). Scheme completed August 2016. Invoices paid. Scheme to be closed.
E/76/276E	Townfield	Fmr Hayes FC, Church Road, Hayes. 4327/APP/2009/2737	199,656.76	199,656.76	127,806.02	111,261.34	127,806.02	71,850.74	54,500.76	First instalment (£64,740) of a contribution received towards improvements to local recreation and sports facilities within the vicinity of the land. Funds to be spent within 7 years of receipt (July 2019). £66,741 received as the second instalment towards the same purpose (spend July 2020). Final instalment £68,174 received (spend by Feb 2022). £145,156 allocated towards the refurbishment and relocation of the former Yiewsley bowls club house to Sipson Recreation Ground for use by Sipson Explorers (Cabinet Decision 21/06/2018). Scheme completed November 2018. Awaiting invoices.
E/77/276F	Townfield	Fmr Hayes FC, Church Road, Hayes 4327/APP/2009/2737	27,018.91	27,018.91	27,018.91	27,018.91	18,128.95	0.00	0.00	First instalment (£8,761) of a contribution received towards air quality improvements in the Authority's area including, measures to reduce emissions, tree planting, use of cleaner fuels and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (July 2019). £9,031 received as the second instalment towards the same purpose (spend by July 2020). Final instalment received this quarter (spend Feb 2022). Funds allocated towards the Borough's air quality monitoring network (Cabinet Member Decision 26/10/2016). £8,889.96 spent towards air quality monitoring 2017/18. £18,128 spent towards air quality monitoring 2018/19.
E/80/249F	Townfield	Glenister Hall, 119 Minet Drive, Hayes 40169/APP/2011/243	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	0.00	Contribution received towards the provision and maintenance of junior football pitches/ refurbishment of cricket wicket at Grassy meadows (see agreement for details). No time limits.
E/83/198G	Uxbridge	Fmr Gasworks Site, Cowley Mill Road, Uxbridge (Kier Park). 3114/APP/2012/2881	15,000.00	15,000.00	15,000.00	15,000.00	54.02	0.00	0.00	Contribution received towards undertaking an assessment of air quality within the vicinity of the site. Funds to be spent within 7 years of receipt (March 2020). Funds allocated towards Borough Air Quality Monitoring Programme (Cabinet Member Decision 09/07/2014). £5,945 spent towards the operation of air quality monitoring stations in the Borough (2015/16). £7,100 spent towards the operation of air quality monitoring stations 2016/17.
E/84/297D	Heathrow Villages	Fmr Technicolor Site, 271 Bath Rd, Sipson. 35293/APP/1938	17,270.83	17,270.83	8,542.50	0.00	8,542.50	8,728.33	0.00	Funds received to be used by Hillingdon Council towards initiatives to improve air quality within LBH. Funds to be spent within 7 years of receipt (May 2020). Funds allocated towards implementation of the Borough Air Quality Action Plan (Cabinet Member Decision 14/11/2018). £8,542 spent towards Long Lane Air Quality Focus Area studies.
E/85/300D	Townfield	Fmr Powergen Site, North Hyde Gardens, Hayes 13226/APP/2012/2185	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	25,000.00	Contribution received to be used towards reducing emissions, tree & other planting, vehicle restrictions, use of cleaner fuels, environmental management and air quality strategy (see legal agreement for details). No time limits.
E/89/315C	Pinkwell	Asda Unit 3 Westlands Estate, Millington Rd, Hayes 32157/APP/2011/872	26,323.47	26,323.47	20,786.82	16,416.82	20,786.82	5,536.65	0.00	Contribution received as the "air quality contribution", to be used by the Council towards air quality monitoring in the Authority's area. No time limits for spend. Funds allocated towards the Borough's air quality monitoring network (Cabinet Member Decision 26/10/2016). Further spend towards monitoring.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
E/93/326	Pinkwell	Prologis Park, Stockley Road, Hayes 18399/APP/2013/3449	21,789.00	21,789.00	0.00	0.00	0.00	21,789.00	21,789.00	Contribution received as the "allowable solutions" (energy) contribution. Funds to be used towards local carbon emissions reduction initiatives in the London Borough of Hillingdon. No time limit for spend.
E/94/338B	Uxbridge South	37 St John's Road, Uxbridge 15811/APP/2012/2444	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Contribution received towards the cost of environmental and ecological mitigation measure and enhancements at the Little Britain site of Metropolitan Importance for Nature Conservation as made necessary by the development. No time limits for spend. Funds allocated towards ecological improvements along The Culvert & Colne Valley Trail in Uxbridge (Cabinet Member Decision 11/12/2018).
E/95/344D	South Uxbridge	Building 63, Phase 500, Riverside Way, Uxbridge 56862/APP/2014/170	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 5 years of receipt (July 2020). Funds allocated towards implementation of the Borough Air Quality Action Plan (Cabinet Member Decision 14/11/2018).
E/96/344E	South Uxbridge	Building 63, Phase 500, Riverside Way, Uxbridge 56862/APP/2014/170	5,750.00	5,750.00	0.00	0.00	0.00	5,750.00	5,750.00	Contribution received towards the maintenance of the footpath works as shown on a plan attached to the agreement. Funds to be spent within 5 years of receipt (July 2020).
E/97/344F	South Uxbridge	Building 63, Phase 500, Riverside Way, Uxbridge 56862/APP/2014/170	5,000.00	5,000.00	3,000.00	3,000.00	0.00	2,000.00	0.00	Contribution received towards the cost of tree works to those trees sited in the adjoining nature reserve. Funds to be spent within 5 years of receipt (July 2020). Funds allocated towards tree works at Uxbridge Moor Nature Reserve (Cabinet Member Decision 24/11/2016). £3,000 spent towards tree works within the reserve 2016/17.
E/98/354B	Botwell	Land on west Side of Dawley Road, Hayes (EC House). 38065/APP/2014/2143	12,558.21	12,558.21	12,558.21	12,558.21	12,558.21	0.00	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (Sept 2022). Funds allocated towards the Borough's air quality monitoring network (Cabinet Member Decision 26/10/2016).
E/100/40H	Botwell	Land at Thorn EMI Complex (Old Vinyl Factory). 51588/APP/2000/1827 & 5987/APP/2012/1838	25,361.47	25,361.47	0.00	0.00	0.00	25,361.47	0.00	Contribution received towards initiatives to improve air quality within the Authority's area. Funds to be spent within 7 years of receipt (Nov 2022). Funds allocated towards implementation of the Borough Air Quality Action Plan (Cabinet Member Decision 14/11/2018).
E/101/355D	Botwell	Former EMI Site, Dawley Rd, Hayes 8294/APP/2015/1406	12,500.00	12,500.00	10,050.30	10,050.30	0.00	2,449.70	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 5 years of receipt (Nov 2022). Funds allocated and £10,050 spent towards a scheme of tree planting in the Borough (Cabinet Member Decision 05/04/2017)
E/102/360B	Heathrow Villages	Former Unitair Centre, Great South West Rd, Feltham, 49559/APP/2014/334	26,000.00	26,000.00	0.00	0.00	0.00	26,000.00	26,000.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
E/103/359D	Yiewsley	26-36 Horton Rd, Yiewsley 3507/APP/2013/2327	12,625.00	12,625.00	0.00	0.00	0.00	12,625.00	12,625.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (Jan 2023).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
E/104/371C	Heathrow Villages	272-276 Bath Rd, Hayes 464/APP/2014/2886	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	25,000.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
E/105/378B	Townfield	Hayes Gate House, Uxbridge Road, Hayes 2385/APP/2013/2523	12,625.00	12,625.00	11,091.92	10,073.78	9,091.92	1,533.08	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 5 years of receipt (Jan 2021). Funds allocated towards street tree planting and support for the Hillingdon air text pollution alert service (Cabinet Member Decision 04/04/2018). £2,000 spent towards the air text service 2017/18. £8,073 spent this quarter towards street tree planting in the Borough. Remaining balance allocated towards Street Tree Planting programme 2018/19 (Cabinet Member Decision 13/03/2019).
E/106/732C	Yiewsley	Phase 3, Stockley Park, Stockley Road. 37977/APP/2015/1004	50,000.00	50,000.00	0.00	0.00	0.00	50,000.00	50,000.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (Jan 2023).
E/107/356C	Yiewsley	Packet Boat House, Packet Boat Lane, Cowley 20545/APP/2012/2848	15,450.00	15,450.00	15,450.00	0.00	15,450.00	0.00	0.00	Contribution received towards the maintenance and provision of open space; the maintenance and provision of children's play spaces; the provision of off-site community facilities to be used for the benefit of residents within the Authority's area. No time limit for spend. Funds allocated and spent towards financing a Chrysalis scheme to provide and outdoor gym & zip wire at Cowley Recreation Ground (Cabinet Member Decision 27/02/2019).
E/109/382E	West Drayton	Kitchener House, Warwick Rd, West Drayton. 182118/APP/2013/2183	12,500.00	12,500.00	0.00	0.00	0.00	12,500.00	12,500.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 10 year of receipt (April 2023).
E/110/384E	Yiewsley	Caxton House, Trout Road, Yiewsley. 3678/APP/2013/3637	25,508.01	25,508.01	0.00	0.00	0.00	25,508.01	25,508.01	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limits for spend.
E/112/382	Brunel	82A-86 Field Heath Road, Hillingdon. 70060/APP/2014/2070	1,000.00	1,000.00	330.76	0.00	330.76	669.24	0.00	Contribution to be used to plant and maintain an appropriate tree within the landscaping enhancement area described in the agreement. No time limits for spend. Funds allocated toward a suitable scheme (Cabinet Member Decision 24/11/2016). Tree planted spring 2019.
E/113/393	West Drayton	Land West of Laurel Lane (Laurel Lane School), West Drayton. 70019/APP/2014/1807	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	0.00	Funds received as the tree planting and landscape improvement contribution, to be used towards the cost of landscaping works to The Closes Recreation Ground (see agreement for details). No time limits for spend. Funds allocated towards landscape enhancements at The Closes Recreation Ground (Cabinet Member Decision 11/12/2018).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
E/114/390C	West Drayton	Former Angler's Retreat PH, Cricketfield Road, West Drayton 11981/APP/2013/3307	12,937.65	12,937.65	0.00	0.00	0.00	12,937.65	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 5 years of receipt (Sept 2021). Funds allocated towards implementation of the Borough Air Quality Action Plan (Cabinet Member Decision 14/11/2018).
E/115/394B	Yiewsley	Padcroft Works, Tavistock Road, Yiewsley. 45200/APP/2014/3638	25,375.72	25,375.72	0.00	0.00	0.00	25,375.72	25,375.72	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (Oct 2023).
E/116/345C	Uxbridge South	Charter Place, Vine Street, Uxbridge. 30675/APP/2014/1345	81,000.00	81,000.00	0.00	0.00	0.00	81,000.00	81,000.00	Funds received as an off-site contribution to be used by the Council towards reducing carbon emissions within the London Borough of Hillingdon. Funds to be spent within 5 years of receipt (Oct 2021).
E/117/398C	Heathrow Villages	Building 717, Located Between Sheffield Way & Southern Perimeter Road 50657/APP/2013/2214	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	17,962.00	Funds received towards initiatives to improve air quality within the Authority's area. Funds to be spent within 5 years of receipt (Nov 2021). £7,038 allocated towards Street Tree Planting Programme 2018/19 (Cabinet Member Decision 13/03/2019).
E/118/399C	Townfield	Unit A Bulls Bridge Centre, North Hyde Gardens, Hayes. 13226/APP/2015/4623	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	25,000.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
E/119/402D	Yiewsley	21 High St, Yiewsley 26628/APP/2014/675	28,275.36	28,275.36	0.00	0.00	0.00	28,275.36	28,275.36	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
E/120/403C	Botwell	Fmr Hayes Swimming Pool, Botwell Lane, Hayes (Lidl) 1942/APP/2015/4127	9,900.00	9,900.00	0.00	0.00	0.00	9,900.00	9,900.00	Funds received to be used by the Council towards off site carbon reduction measures, schemes and initiatives to mitigate the development. No time limits for spend.
E/121/404E	Botwell	The Gatefold Building, land east of the former EMI site, Blyth Rd, Hayes 51588/APP/2011/2253	27,888.66	27,888.66	0.00	0.00	0.00	27,888.66	27,888.66	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (April 2024).
E/123/242J	West Drayton	Fmr NATs Site, Drayton Garden Village, Porters Way, West Drayton 5107/APP/2009/2348	488,493.68	488,493.68	0.00	0.00	0.00	488,493.68	488,493.68	Funds received as the "indoor/outdoor sport & recreation contribution", to be used by the Council towards the provision of indoor & outdoor sports and recreation facilities within the Authority's area. No time limits for spend.
E/125/409D	Heathrow Villages	Fmr Contractor's Compound, South of Swindon Road, Heathrow Airport 67622/APP/2013/2532 & 67622/APP/2015/1651	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	25,000.00	Contribution received to be used towards initiatives to improve air quality within the Authority's area. Funds to be spent within 5 years of receipt (Dec 2023).
E/126/412B	Botwell	Enterprise House, 133 Blyth Road, Hayes 11623/APP/2013/3606	26,546.69	26,546.69	0.00	0.00	0.00	26,546.69	26,546.69	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
E/127/283G	Uxbridge North	Former RAF Uxbridge, Hillingdon Road, Uxbridge. 585/ APP/ 2009/2752	317,775.00	317,775.00	73,377.00	0.00	73,377.00	244,398.00	0.00	Funds received as 25% of the district park maintenance contribution . Funds to be spent within 10 years of receipt (Dec 2027). Remaining 75% of the maintenance contribution received Q2. Contribution allocated towards maintenance costs associated with Dowding Park (Cabinet Member decision 27/02/2019). £73,377 spent
E/129/415C	West Drayton	West Drayton Police Station, Station Road, West Drayton 12768/APP/2016/1580 & 12768/APP/2014/1870	12,500.00	12,500.00	0.00	0.00	0.00	12,500.00	12,500.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
E/130/418C	Botwell	20-30 Blyth Road, Hayes 1425/APP/2011/3040	10,720.34	10,720.34	0.00	0.00	0.00	10,720.34	10,720.34	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (May 2025).
E/131/420D	Townfield	Fmr Kings Arms PH, 109 Coldharbour Lane, Hayes 10954/APP/2011/1997	14,012.23	14,012.23	0.00	0.00	0.00	14,012.23	14,012.23	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limits.
E/132/419D	Heathrow Villages	Cessna Road, Terminal 2, Heathrow Airport 62360/APP/2015/4277	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	25,000.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (August 2025).
E/133/423C	Heathrow Villages	1 Nobel Drive, Harlington, Hayes 46214/APP/2014/2827	20,755.73	20,755.73	0.00	0.00	0.00	20,755.73	20,755.73	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limits.
E/134/424B	Yiewsley	Land at Onslow Mills, Trout Road, West Drayton 1724/APP/2016/3513	12,871.38	12,871.38	0.00	0.00	0.00	12,871.38	12,871.38	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limits.
E/135/425D	Yiewsley	Land rear of 2-24 Horton Road, West Drayton 71582/APP/2016/4582	33,451.39	32,062.00	0.00	0.00	0.00	33,451.39	33,451.39	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (Dec 2025). Indexation received this quarter.
E/136/430C	Uxbridge South	Randalls 7-9 Vine St, Uxbridge 41309/APP/2016/3391	13,146.71	0.00	0.00	0.00	0.00	13,146.71	13,146.71	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
E/137433B	Heathrow Villages	Renaissance London Heathrow Hotel, Bath Road 12004/APP/2018/2720	12,500.00	0.00	0.00	0.00	0.00	12,500.00	12,500.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
E/138/429F	Botwell	Fmr Nestle Factory, Nestles Avenue, Hayes 1331/APP/2017/1883	288,873.79	0.00	0.00	0.00	0.00	288,873.79	288,873.79	Funds received as the "Cranford Park Improvement Contribution" to be used towards the improvement of the historic Cranford park grounds in the vicinity of the development. Funds to be spent within 10 years of receipt (March 2029.)
E/139/372D	Yiewsley	Phase 3, Stockley Park, Stockley Road. 37977/APP/2015/1004	150,000.00	0.00	0.00	0.00	0.00	150,000.00	150,000.00	Funds received to be used by the Council towards landscaping improvements or flood attenuation works to Packet Boat Lane . Land parcel shown on plan attached to the agreement.
		FINANCE PROPERTY & BUSINESS SERVICES SUB -TOTAL	2,458,385.24	1,992,475.35	416,403.14	296,770.06	286,126.20	2,041,982.10	1,607,946.45	
PORTFOLIO: SOCIAL SERVICES, HOUSING, HEALTH & WELLBEING										
H/13/194E *59	Uxbridge	Frays Adult Education Centre, Harefield Road, Uxbridge. 18732/APP/2006/1217	12,426.75	12,426.75	0.00	0.00	0.00	12,426.75	0.00	Funds received towards the provision of healthcare facilities in the Borough. No time limits.
H/18/219C *70	Yeadon	Land rear of Sydney Court, Perth Avenue, Hayes. 6593/6APP/2009/2629	3,902.00	3,902.00	0.00	0.00	0.00	3,902.00	0.00	Funds received towards the cost of providing health facilities in the Authorities Area. No time limits. £1,800 earmarked towards conversion of existing office space to an additional consulting room at the Pine Surgery, Hayes, subject to formal approval.
H/27/262D *80	Charville	Former Hayes End Library, Uxbridge Road, Hayes. 9301/APP/2010/2231	5,233.36	5,233.36	0.00	0.00	0.00	5,233.36	0.00	Funds received towards the cost of providing health facilities in the Authority's area including the expansion of health premises to provide additional facilities, new health premises or services (see legal agreement for details). No time limit for spend.
H/30/276G *85	Townfield	Fmr Hayes FC, Church Road, Hayes. 4327/APP/2009/2737	104,319.06	104,319.06	68,698.26	68,698.26	0.00	35,620.80	0.00	First instalment of a contribution (£33,826) received towards the cost of providing health facilities in the Authority's area including the expansion of health premises to provide additional facilities, new health premises or services (see legal agreement for details). Funds to be spent within 7 years of receipt (July 2019). £34,871 received as the second instalment towards the same purpose (spend July 2020). £68,698.86 allocated towards phases 2-5 of the HESA extension (Cabinet Member Decision 4/12/2014). Final instalment (£35,620.80) received this quarter (spend by Feb 2022). £68,698.86 transferred to NHS Property Services 24/02/2015.
H/39/304C *97	Yeadon	Fmr Tasman House, 111 Maple Road, Hayes 38097/APP/2012/3168	6,448.10	6,448.10	0.00	0.00	0.00	6,448.10	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Funds to be spent within 7 years of receipt (August 2020).
H/42/242G *100	West Drayton	West Drayton Garden Village (north site) off Porters Way, West Drayton. 5107/APP/2009/2348	337,574.00	337,574.00	0.00	0.00	0.00	337,574.00	0.00	Contribution received towards providing additional primary health care facilities in the West Drayton area including; expansion of existing premises to provide additional facilities and services to meet increased patient numbers, new health premises on the land or in the local area (see agreement for details). No time limits.
H/47/329E *106	Townfield	Land at Pronto Industrial Estate, 585-591 Uxbridge Road, Hayes 4404/APP/2013/1650 4404/APP/2008/3558	14,066.23	14,066.23	0.00	0.00	0.00	14,066.23	0.00	Contribution received towards the cost of providing healthcare facilities in the London Borough of Hillingdon. Funds to be spent within 10 years of receipt (July 2024).
H/49/283B *108	Uxbridge North	Former RAF Uxbridge, Hillingdon Road, Uxbridge 585/APP/2009/2752	624,507.94	624,507.94	177,358.31	177,358.31	0.00	447,149.63	0.00	Contribution received towards the provision of healthcare facilities serving the development, in line with the S106 Planning Obligations SPD 2008. Funds to be spent within 10 years of receipt (August 2024). £177,358 from this contribution is allocated towards capacity improvements at Uxbridge Health Centre (Cabinet Member Decision 12/06/2015). Funds transferred to HCCG (July 2015).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
H/50/333F *109	Yiewsley	39 High street, Yiewsley 24485/APP/2013/138	12,444.41	12,444.41	0.00	0.00	0.00	12,444.41	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits.
H/55/347D *114	North Uxbridge	Honeycroft Day Centre, Honeycroft Hill, Uxbridge 6046/APP/2013/1834	12,162.78	12,162.78	0.00	0.00	0.00	12,162.78	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Funds to spent/committed within 7 years of receipt (May 2022).
H/56/348A	North Uxbridge	Lancaster & Hermitage Centre, Lancaster Road, Uxbridge. 68164/APP/2011/2711	390,564.64	390,564.64	0.00	0.00	0.00	390,564.64	390,564.64	Contribution received to be used by the Council to provide subsidised housing available through a Registered Social Landlord to persons who cannot afford to rent or buy houses generally available on the open market. No time limits for spend. Index linking received.
H/58/348B *117	Uxbridge North	Lancaster & Hermitage Centre, Lancaster Road, Uxbridge. 68164/APP/2011/2711	7,587.72	7,587.72	0.00	0.00	0.00	7,587.72	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits
H/59/356E *120	Yiewsley	Packet Boat House, Packet Boat Lane, Cowley 20545/APP/2012/2848	14,997.03	14,997.03	0.00	0.00	0.00	14,997.03	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Funds to be spent within 5 years of completion (June 2022).
H/60/359E *121	Yiewsley	26-36 Horton Rd, Yiewsley 3507/APP/2013/2327	25,291.09	25,291.09	23,599.93	23,599.93	0.00	1,691.16	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Spend within 7 years of receipt (Jan 2023). £23,559 allocated towards improvements to Yiewsley Health Centre (Cabinet Member Decision 17/01/ 2018). Funds transferred to NHS Property Services Feb 2018.
H/61/382F *128	West Drayton	Kitchener House, Warwick Rd, West Drayton. 18218/APP/2013/2183	8,872.64	8,872.64	0.00	0.00	0.00	8,872.64	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Spend within 10 years of receipt (April 2026).
H/62/384F *129	Yiewsley	Caxton House, Trout Road, Yiewsley. 3678/APP/2013/3637	15,482.07	15,482.07	0.00	0.00	0.00	15,482.07	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits for spend.
H/64/387E *136	Uxbridge North	Norwich Union House, 1-3 Bakers Road, Uxbridge 8218/APP/2011/1853	15,518.40	15,518.40	0.00	0.00	0.00	15,518.40	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Spend within 7 years of receipt (September 2023).
H/65/387F	Uxbridge North	Norwich Union House, 1-3 Bakers Road, Uxbridge 8218/APP/2011/1853	170,545.32	170,545.32	0.00	0.00	0.00	170,545.32	170,545.32	Contribution received towards subsidised housing available through a Registered Provider to persons who cannot afford to rent or buy houses generally available on the open market. Funds to be spent within 7 years of receipt (September 2023).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
H/67/402E *142	Yiewsley	21 High St, Yiewsley 26628/APP/2014/675	18,799.72	18,799.72	0.00	0.00	0.00	18,799.72	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits for spend.
H/68/329F	Townfield	Pronto Industrial Estate, 585-591 Uxbridge Rd, Hayes 4404/APP/2014/2206	120,793.95	120,793.95	0.00	0.00	0.00	120,793.95	120,793.95	Funds received towards the provision of affordable housing in the Authority's area. No time limits for spend.
H/69/404F *143	Botwell	The Gatefold Building, land east of the former EMI site, Blyth Rd, Hayes 51588/APP/2011/2253	60,541.81	39,689.49	0.00	0.00	0.00	60,541.81	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Fund to be spent within 7 years of receipt (April 2024). £20,304 received March 2018 as the second instalment. £20,852.32 received as third and final instalment.
H/70/40M *146	Botwell	Old Vinyl Factory (Boiler House & Materials Store), Blyth Rd, Hayes. 59872/APP/2012/1838 & 59872/APP/2013/3775	81,329.25	81,329.25	0.00	0.00	0.00	81,329.25	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Fund to be spent within 7 years of receipt (July 2024).
H/73/420E *158	Townfield	Fmr Kings Arms PH, 109 Coldharbour Lane, Hayes 10954/APP/2011/1997	8,991.50	8,991.50	0.00	0.00	0.00	8,991.50	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits for spend.
H/74/184D	Yiewsley	Fmr Honeywell Site, Trout Road, West Drayton 335/APP/2010/1615	60,000.00	60,000.00	0.00	0.00	0.00	60,000.00	60,000.00	Funds received towards the cost of providing affordable housing within the Authority's area. No time limit for spend.
H/75/382G	West Drayton	Kitchener House, Warwick Rd, West Drayton. 18218/APP/2013/2183	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	25,000.00	Funds received as the affordable housing contribution to be spent towards the cost of providing affordable housing in the Local Authority's area. Funds to be spent within 10 years of receipt (Nov 2028).
H/77/430D	Uxbridge South	Randalls 7-9 Vine St, Uxbridge 41309/APP/2016/3391	210,347.38	0.00	0.00	0.00	0.00	210,347.38	210,347.38	Funds received as the affordable housing commuted sum to be spent towards the off-site provision of affordable housing in the Authority's area. No time limit for spend.
		SOCIAL SERVICES HEALTH & HOUSING SUB-TOTAL	2,367,747.15	2,136,547.45	269,656.50	269,656.50	0.00	2,098,090.65	977,251.29	
		GRAND TOTAL ALL SCHEMES	22,320,229.43	19,536,186.56	11,334,426.33	8,754,746.88	2,899,790.59	11,811,714.70	5,382,739.92	

The balance of funds remaining must be spent on works as set out in each individual agreement.

Bold and strike-through text indicates key changes since the Cabinet report for the previous quarter's figures.

Bold figures indicate changes in income and expenditure

Income figures for schemes within shaded cells indicate where funds are held in interest bearing accounts.

* Denotes funds the Council is unable to spend currently totals £2,650,822.84

*2: PT/05 is restricted to public transport serving London Heathrow and subject to approval from BAA and bus operators.

*18: PT278/34 includes a returnable security deposit for the highway works (to be later refunded) plus interest.

*20: PT278/44 includes a returnable security deposit for the highway works (to be later refunded) plus interest.

*22: PT278/30 is to be held as a returnable security deposit for the highway works (to be later refunded)

*23: PT278/49 includes a returnable security deposit for the highway works (to be later refunded) plus interest and funds for TfL costs.

*46: PT/88/140F there has not been any petitions for parking schemes in the area.

*51: PT278/62/149A is to be held as a returnable security deposit for the highway works (to be later refunded).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2018 / 2019 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at May 2019)
			AS AT 31/03/19	AS AT 31/12/18	AS AT 31/03/19	AS AT 31/12/18	To 31/03/19	AS AT 31/03/19	AS AT 31/03/19	
*52:PT/278/65		E5,000.00 is to be held as a returnable security deposit for the highway works (to be later refunded).								
*59:H/13/194E		E12,426.75 funds have been received to provide health care services in the borough.								
*60:PT/278/76		E5,000.00 is to be held as a returnable security deposit for highway works (to be later refunded)								
*61:PT/110/198B		E14,240.00 is to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*63:PT/111/205A		E0.00 is to be held as a returnable deposit for the implementation of the travel plan (later to be refunded)								
*70:H/18/219C		E3,902.00 funds have been received to provide Health Care services in the borough.								
*80:H/27/262D		E5,233.36 funds have been received to provide Health Care services in the borough.								
*82:PT/126/242D		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (later to be refunded)								
*84:PT/278/81/249E		E4,000.00 funds received as a security deposit to ensure proper execution of works (to be refunded)								
*85:H/30/276G		E35,620.80 funds received to provide health care facilities in the borough.								
*87:PT/278/82/273A		E72,000.00 funds received as a security deposit to ensure proper execution of works (to be refunded)								
*88:PT/132/149J		E15,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*90:PT/278/83/292		E31,500.00 funds to be held as a returnable deposit for highways works (to be later refunded).								
*93:PT/278/85		E5,000.00 funds to be held as a returnable deposit for highways works (to be later refunded).								
*97: H/39/304C		E6,448.10 funds received to provide health care facilities in the borough.								
*100:HI/42/242G		E337,574.00 funds received to provide health care facilities in the borough.								
*102: PT/138/300B		E20,000.00 funds to be used towards TFL scheme at Bulls Bridge roundabout								
*106: HI/47/329E		E14,066.23 funds received to provide health care facilities in the borough.								
*108: HI/49/283B		E447,149.63 funds received to provide health care facilities in the borough.								
*109: HI/50/333F		E12,444.41 funds received to provide health care facilities in the borough.								
*112:HI/54/343D		E17,600.54 funds received to provide health care facilities in the borough.								
*114: H55/347D		E12,162.78 funds received to provide health care facilities in the borough.								
*117: HI/58/348B		E7,587.72 funds received to provide health care facilities in the borough.								
*118: PT/278/103/370A		E51,234.86 is to be held as a returnable security deposit for the highway works (to be later refunded).								
*119: PT/157/355A		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*120: HI/59/356E		E14,997.03 funds received to provide health care facilities in the borough.								
*121: HI/60/359E		E1,691.16 funds received to provide health care facilities in the borough.								
*123: PT/158/371A		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*124: PT/160/354C		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*125: PT/161/373		E8,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*126: PT/165/374B		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*127: PT/168/383A		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*128: HI/61/382F		E8,872.64 funds received to provide health care facilities in the borough.								
*129: HI/62/384F		E15,482.07 funds received to provide health care facilities in the borough.								
*131: PT/278/95/40J		E33,397.13 is to be held as a returnable security deposit for the highway works (to be later refunded).								
*132: PT/278/107/355E		E5,000.00 is to be held as a returnable security deposit for the highway works (to be later refunded).								
*133: PT/278/108/378C		E5,000.00 is to be held as a returnable security deposit for the highway works (to be later refunded).								
*134: PT/175/388		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*136: HI/64/387E		E15,518.40 funds received to provide health care facilities in the borough.								
*138: PT/179/360C		E20,578.80 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*141: PT/187/403A		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*142: H67/402E		E18,799.72 funds received to provide health care facilities in the borough.								
*143: HI/69/404E		E39,689.49 funds received to provide health care facilities in the borough.								
*144:PT/278/109/403E		E135,000.00 is to be held as a returnable security deposit for the highway works (to be later refunded).								
*145:PT/191/396C		E40,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*146:H/70/40M		E81,329.25 funds received to provide health care facilities in the borough.								
*147: PT/195/409A		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*148: PT/197/40N		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*150: PT/278/116		E11,544.73 is to be held as a returnable security deposit for the highway works (to be later refunded).								
*151: PT/199		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*152: PT/201		E21,200.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*153: PT/202		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*154: PT/278/124		E1,000.00 is to be held as a returnable security deposit for the highway works (to be later refunded).								
*155: PT/278/125		E5,000.00 is to be held as a returnable security deposit for the highway works (to be later refunded).								
*156: PT/203/400C		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*157: PT/204/419A		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*158: H/73/420E		E8,991.50 funds received to provide health care facilities in the borough.								
*159: PT/153/345B		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*160: PT/152/344B		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*161: PT/149/325C		E20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*162: PT/278/390F		E32,868.00 is to be held as a returnable security deposit for the highway works (to be later refunded).								
*163: PT/278/417B		E34,386.33 is to be held as a returnable security deposit for the highway works (to be later refunded).								
		E2,650,822.84								

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Plans for Central & South Applications Planning Committee

Tuesday 2nd July
2019



HILLINGDON
LONDON



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Page 77

Report of the Head of Planning, Transportation and Regeneration

Address CENTRAL LECTURE BUILDING, BRUNEL UNIVERSITY KINGSTON LANE
HILLINGDON

Development: Upgrade of services, HAC roof beam repairs and the refurbishment of 6
ground floor WC's (Application for Listed Building Consent)

LBH Ref Nos: 74764/APP/2019/1315

Date Plans Received: 16/04/2019
Date Application Valid: 16/04/2019

Date(s) of Amendment(s): 23/04/2019
20/05/2019
17/04/2019
24/04/2019

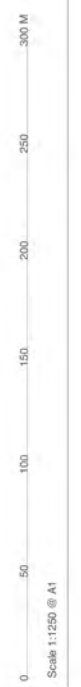


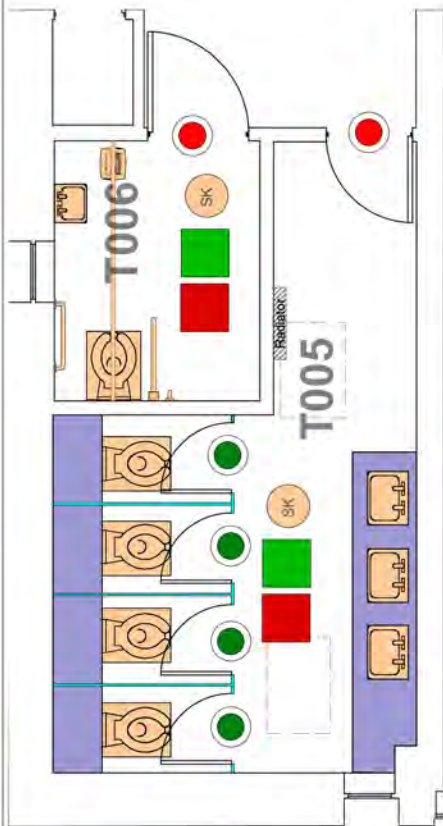
	LOCATION OF SITE
	SITE BOUNDARIES



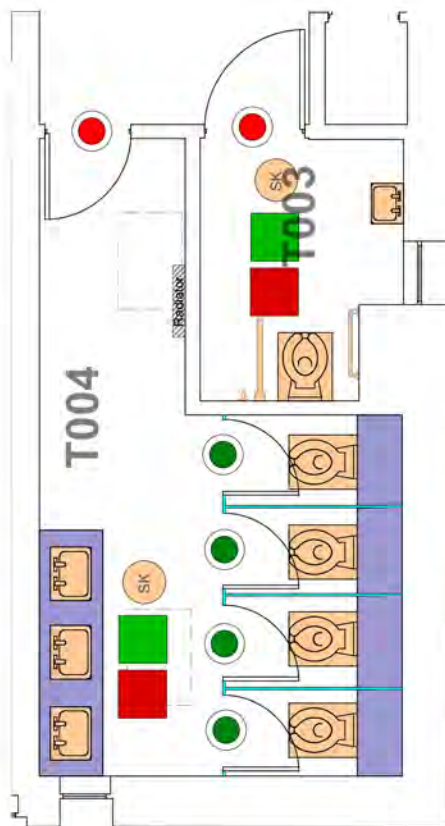
Kendall Kingscott
Architectural Services
100 Ratcliffe Close
Ratcliffe, London, W6 0AT
Tel: 020 8996 1000
www.kendallkingscott.co.uk

Project: **Lecture Centre Redevelopment**
Drawing No: **Location Plan**
Client: **Brunel University London**
Drawing Date: **14/01/19**
Drawing No: **181051 L(0)01**
Drawing Title: **PLANNING**

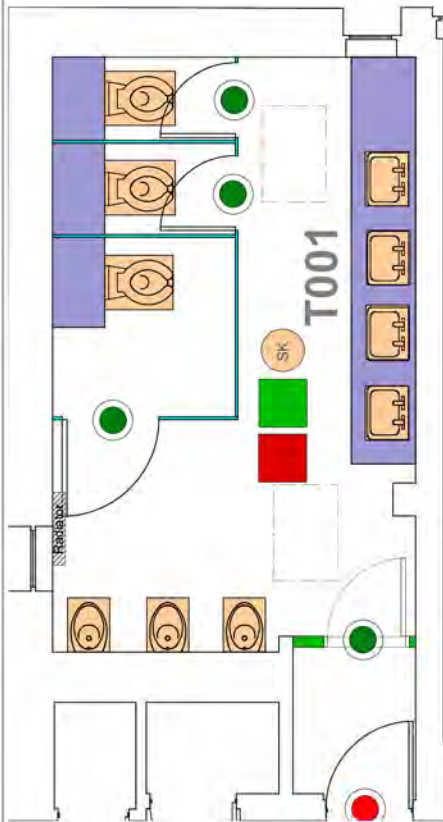




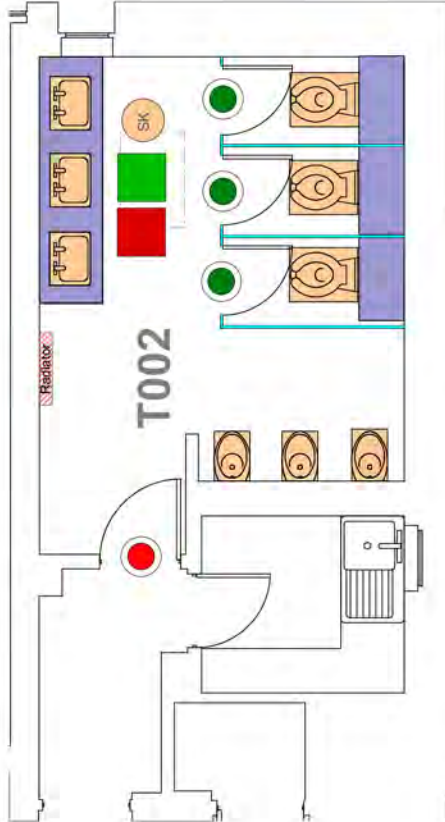
ROOMS T005 & T006 DEMOLITION AND ALTERATIONS PLAN
Scale 1:50 @ A3



ROOMS T003 & T004 DEMOLITION AND ALTERATIONS PLAN
Scale 1:50 @ A3



ROOM T001 DEMOLITION AND ALTERATIONS PLAN
Scale 1:50 @ A3



ROOM T002 DEMOLITION AND ALTERATIONS PLAN
Scale 1:50 @ A3

Demolition and Alteration Notes

- Take off existing door and contemporary remove from room A, and take off and close all materials during from site.
- Remove and protect existing door in the situation (if works).
- Take off & clear from site existing door (if not required) with within room where applicable.
- Take off and clear from site existing door (if not required) with within room where applicable.
- Strip out ceiling grid - floor and ceiling from site
- Take up existing floor from room & clear from site including the ground setting for a inspection of room.
- Take out and clear from site PPE items and boxing
- Carpet partitions to be demolished and removed from site.
- Temporarily isolate and disconnect isolation. Rules and protect for demolition of room.
- Isolate and disconnect existing isolation and remove from site.
- Wash to be completed. Refer to structural engineer
- Manhole Covers



Project
Lecture Centre WC Refurbishment

Client
Brunel University London

Scale
1:50 A3 181051.vwx

Page Size
181051.vwx

Do not scale the drawing

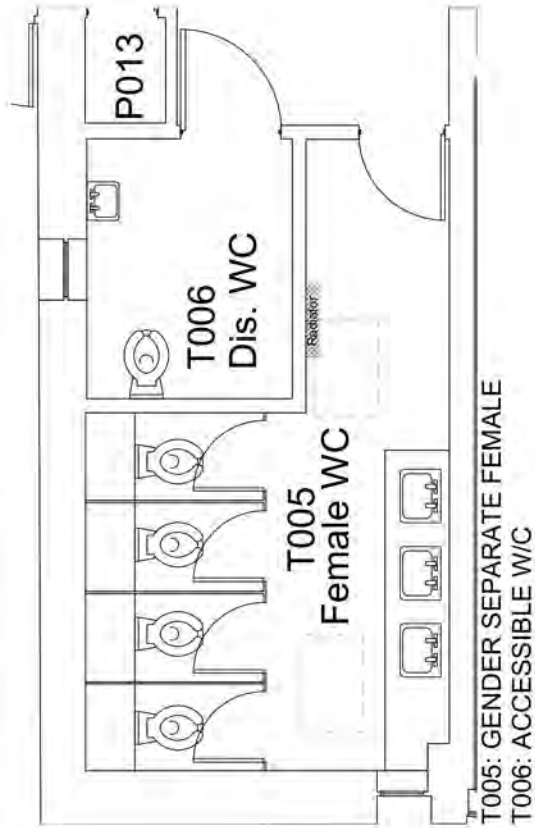
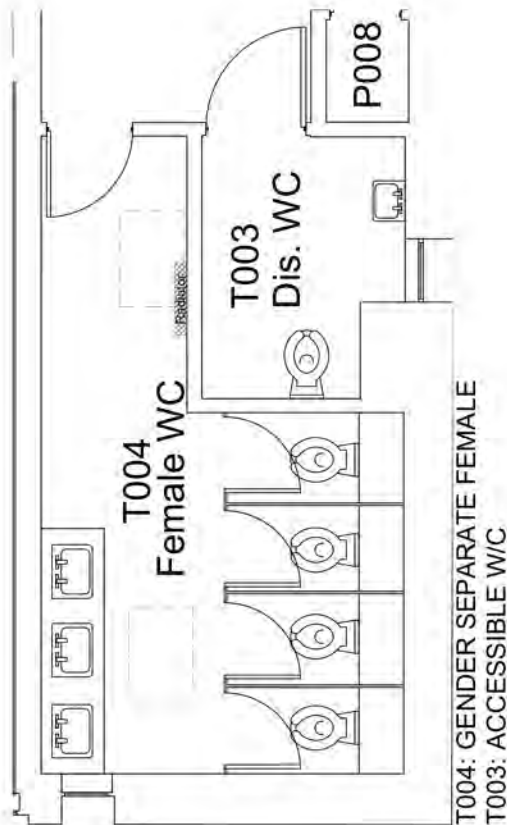
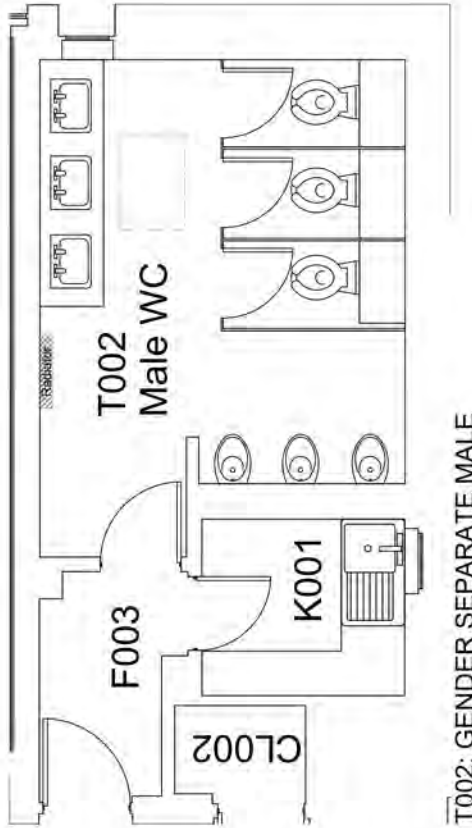
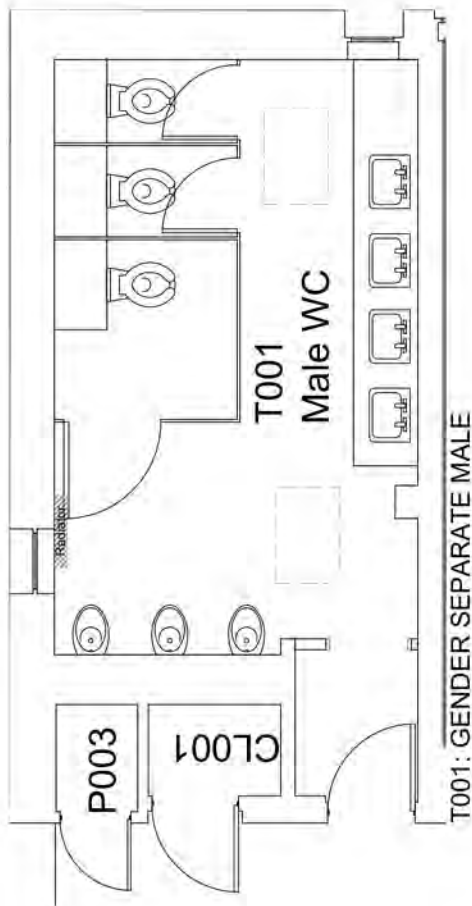
Chartered Architects
Chartered Building Surveyors
Interior Designers
CIBA Services

Suite 3 Standard House, 1B
Clarendon Road, Teddington,
TW11 8QH
+44 (0)2089 435 300
www.kendallkingscott.co.uk

A 28/02/19 JC CB Radiator in T001 to be retained
Rev. Date By Ap Note

Revision	Drawing Number	Status	Date	Drawn	Checked	By
A	181051 L(0)14	TENDER	15/02/19	JC	MM	

One to be retained for the project. The drawings are prepared in accordance with the British Standard BS 1192:2011. The drawings are prepared in accordance with the British Standard BS 1192:2011. The drawings are prepared in accordance with the British Standard BS 1192:2011.



DRAWING KEY

Inspection chambers (Manholes)

Radiators







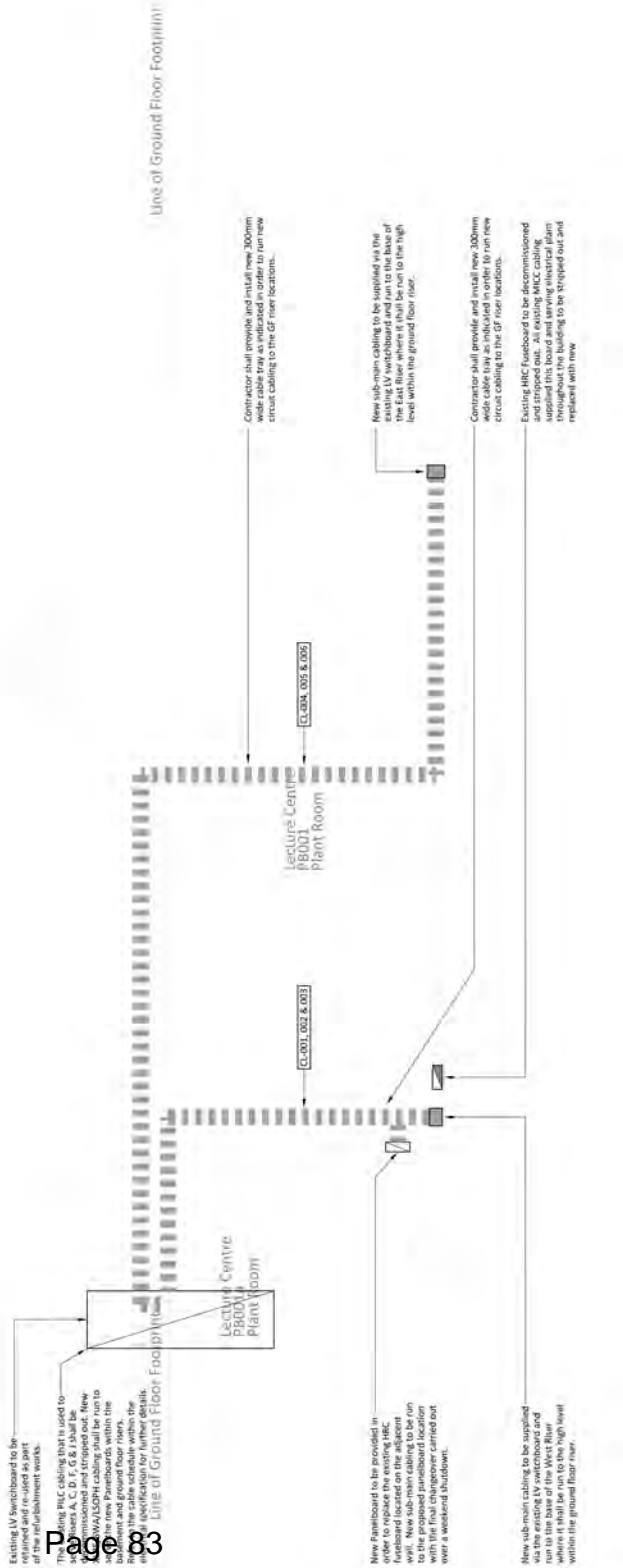
Project		Project Title		Drawing Title	
Lecture Centre W/C Refurbishment		Existing Ground Floor WCs		Existing Ground Floor WCs	
Client		Project Number		Drawing Number	
Brunel University London		181051		L(0)13	
Scale		Date		Status	
1:50		11/02/19		JC	
Project Size		Drawing		Checked	
A3		181051.vwx		MM	
© Copyright		Do not scale this drawing		TENDER	
Kendall Kingscott Ltd		Check all dimensions and levels on site		Revision	
Suite 3 Sandford House, 18 Oxford Road, Reading, RG1 +44 (0)7050 435 300 www.kendallkingscott.co.uk				1	

Notes

1. This drawing to be read in conjunction with all mechanical, electrical & public health drawings for this contract.
2. All services work to be carried out in accordance with the relevant Engineering Specification for this contract.

Legend

-  Distribution board
-  LV switchboard
-  Cable floor
-  300mm Cable Tray

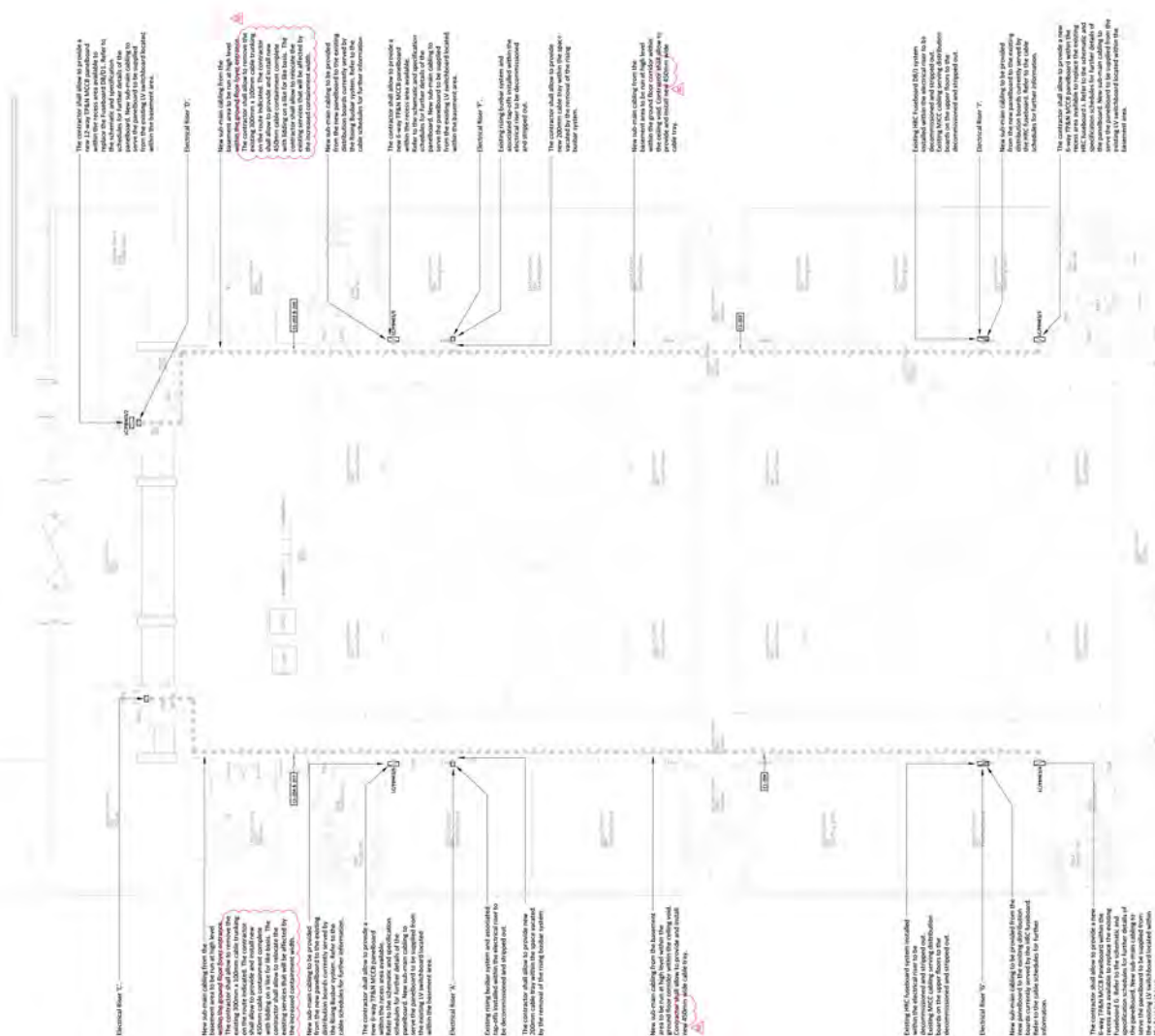


NOTES

1. This drawing is to be used in conjunction with all other drawings of the project.
2. All services work to be carried out in accordance with the relevant standards and specifications.

LEGEND

- 1. Distribution board
- 2. LV switchboard
- 3. Cable tray
- 4. 200mm Cable Tray



10	10.00.10	Transformer	10.00
11	10.00.11	Transformer	10.00
12	10.00.12	Transformer	10.00
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29	10.00.29	Transformer	10.00
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58	10.00.58	Transformer	10.00
59	10.00.59	Transformer	10.00
60	10.00.60	Transformer	10.00
61	10.00.61	Transformer	10.00
62	10.00.62	Transformer	10.00
63	10.00.63	Transformer	10.00
64	10.00.64	Transformer	10.00
65	10.00.65	Transformer	10.00
66	10.00.66	Transformer	10.00
67	10.00.67	Transformer	10.00
68	10.00.68	Transformer	10.00
69	10.00.69	Transformer	10.00
70	10.00.70	Transformer	10.00
71	10.00.71	Transformer	10.00
72	10.00.72	Transformer	10.00
73	10.00.73	Transformer	10.00
74	10.00.74	Transformer	10.00
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93	10.00.93	Transformer	10.00
94	10.00.94	Transformer	10.00
95	10.00.95	Transformer	10.00
96	10.00.96	Transformer	10.00
97	10.00.97	Transformer	10.00
98	10.00.98	Transformer	10.00
99	10.00.99	Transformer	10.00
100	10.00.100	Transformer	10.00

HM

BRUNEL UNIVERSITY LONDON

BRUNEL UNIVERSITY LONDON

Buil Lecture Theatre

Electrical Services

CLB Ground Floor Power & Containment

Layout

1:100

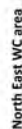
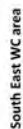
TENDER DRAWING

25806-HMP-01-GF-DR-E-0001

02

26806-HMP-01-00-DR-PH-0002

6806-HMP-01-00-DR-PH-0001

[illegible]

12	27 Oct 18	Templeton House	446
13	28 Oct 18	Templeton House	448



BRUNEL UNIVERSITY LONDON

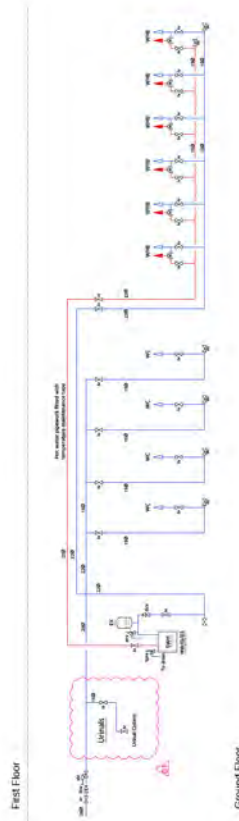
PAUL Lecture Theatre

Public Health Services
CLB Ground Floor
Above Ground Sanitation Schematic

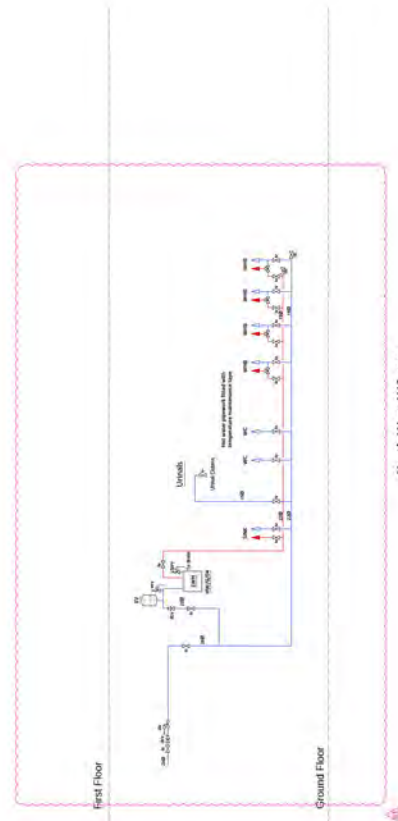
TENDER DRAWING
26805-HMP-01-XX-OR-PH-0001 01

Notes

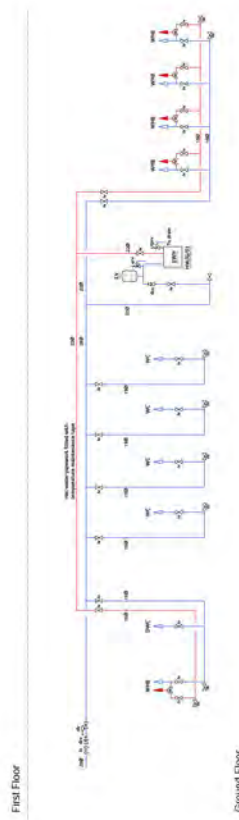
1. This drawing is to be read in conjunction with all other drawings of this project.
2. All dimensions are to be taken as indicated on the drawings.
3. All dimensions are to be taken as indicated on the drawings.
4. All dimensions are to be taken as indicated on the drawings.
5. All dimensions are to be taken as indicated on the drawings.
6. All dimensions are to be taken as indicated on the drawings.
7. All dimensions are to be taken as indicated on the drawings.
8. All dimensions are to be taken as indicated on the drawings.
9. All dimensions are to be taken as indicated on the drawings.
10. All dimensions are to be taken as indicated on the drawings.



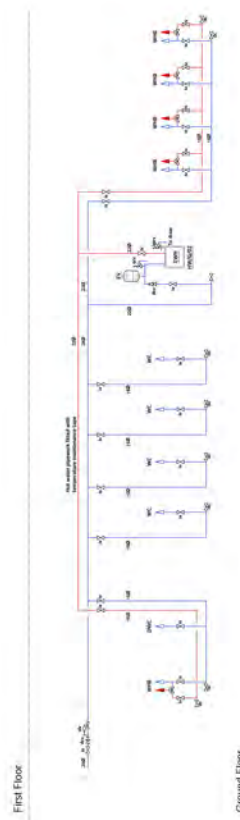
South West WC area



North West WC area



South East WC area



North East WC area

CL	21.06.20	Trainer	MR	MR
DR	21.06.20	Trainer	MR	MR



BRUNEL UNIVERSITY LONDON

BUIL Lecture Theatre

Public Health Services
CLB Ground Floor
Hot and Cold Water Schematic

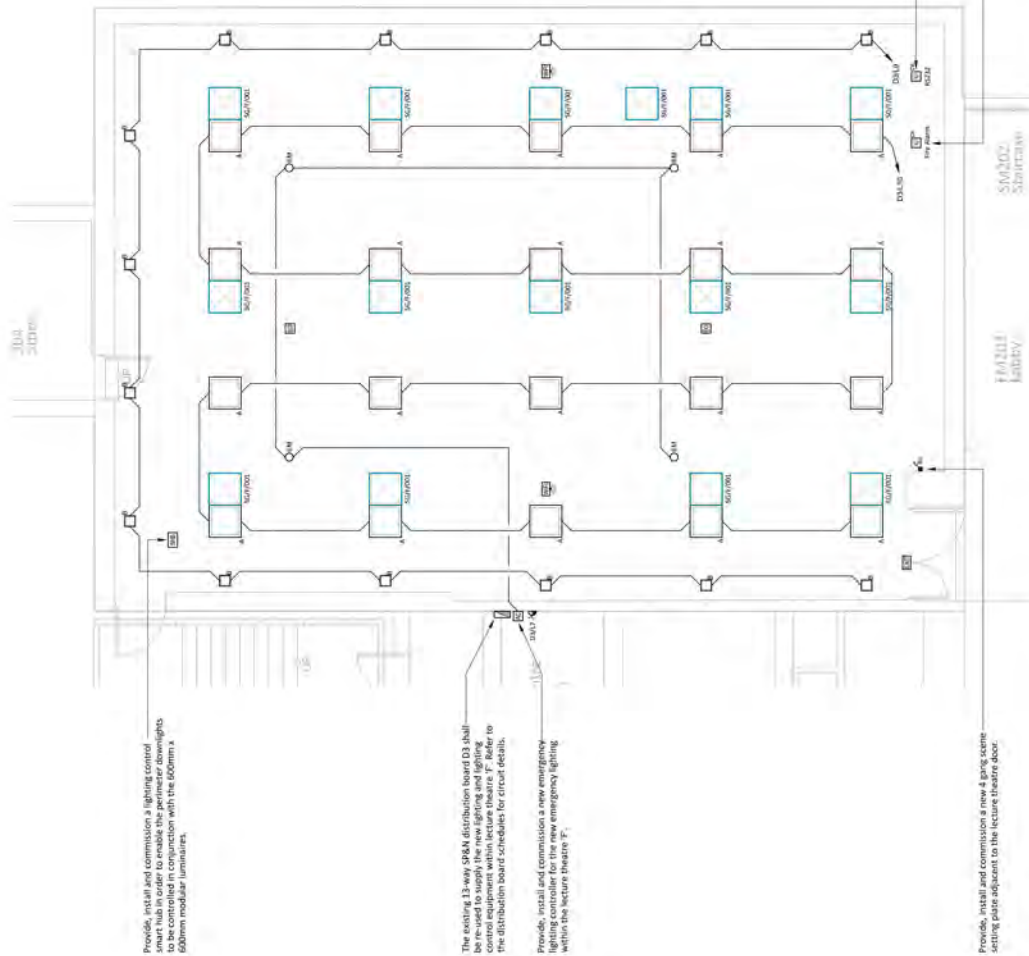
2.25	AS	MR	MR
TENDER DRAWING			
Z6806-HMP-01-XX-DH-PH-0002			01

Notes

1. This drawing to be read in conjunction with all mechanical, electrical & public health drawings for this contract.
2. All services work to be carried out in accordance with the relevant Engineering Specification for this contract.
3. Refer to drawing no. XXXXX-XX-XX-XX-XX-XXXX for Symbol - legend information.

Legend

	600mm x 600mm Recessed LED Luminaire
	200mm x 200mm Recessed LED Luminaire
	LM LED Luminaire
	Smoke Detector
	WIFI Point
	Interface Unit
	Area Controller
	Distribution Board
	Emergency Exit Sign
	Smart Hub Box
	4 gang scene setting control plate
	Existing location to remain - new supply air grille to be provided



00 29.03.19 Tender Issue KC RW



hbm@hbm.com
100 Brunel University Lane

BRUNEL UNIVERSITY LONDON

BUL Lecture Theatre

Electrical Services
CLB Lecture Theatre 'F'
Lighting & Ancillary Services Layout

1:100 A1 RW

TENDER DRAWING

26806-HMP-01-03-DR-E-0002 00

Notes

1. This drawing to be read in conjunction with all mechanical, electrical & public health drawings for this contract.
2. All services work to be carried out in accordance with the relevant Engineering Specification for this contract.

Key

Items in **RED** to be stripped out.

00	29.03.19	Tender Issue	KC	RW
----	----------	--------------	----	----



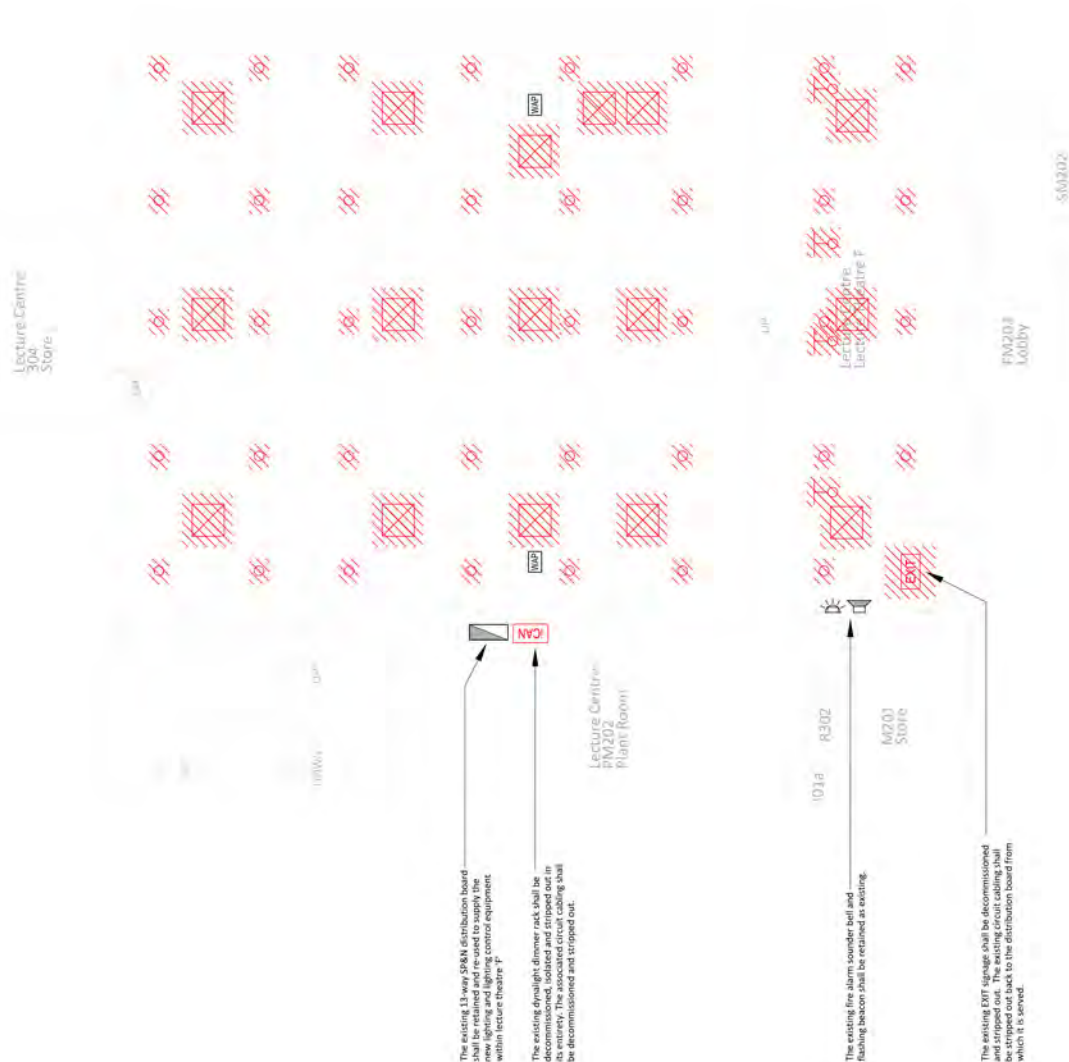
halanmoran.com info@missionmurati.com

BRUNEL UNIVERSITY LONDON

BUL Lecture Theatre

Electrical Services
CLB Lecture Theatre
'F' Strip-Out Drawing

Size	Weight	Material	Weight	Material
1.100	A1	RW	RW	RW
TENDER DRAWING				
26806-HMP-01-03-DR-E-0001				
Drawing Title				
00				



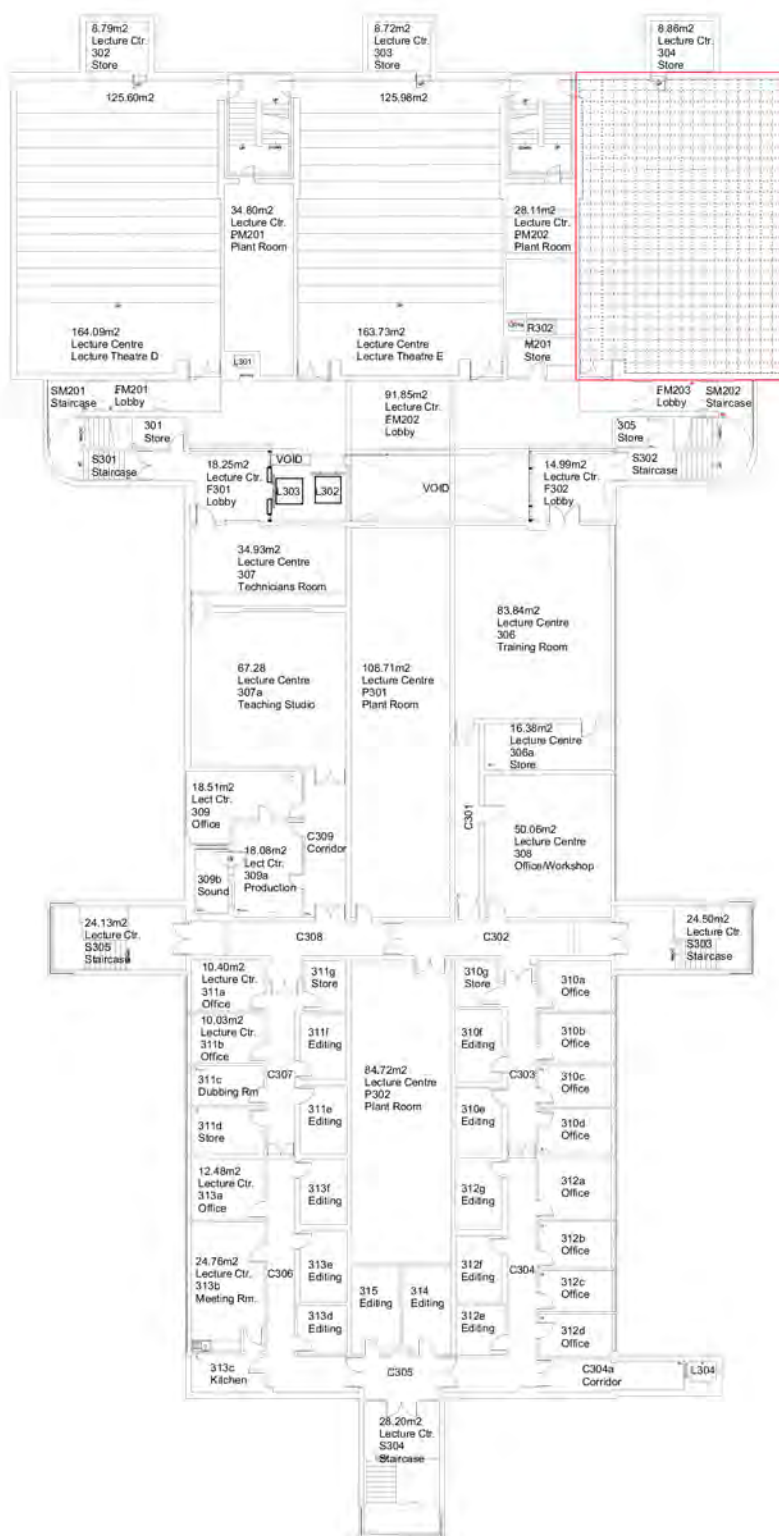
GRID TO LOCAL DATUM
LEVEL TO O.S. BENCH MARK
AT CEMETERY ENTRANCE KINGTON LANE
WALK 41.84m

Area of works



New ceiling grid and tiles
throughout the lecture rooms

Note:
Please refer to full Hilson Moran + Reflex
Specifications regarding the removal of
Lighting and AV equipment. Refer to
specification of works for removal of
ventilation grilles within 8 lecture theatres



Studied and limited to:
Construction Surveying
Interior Design
2024 Survey
Site: Brunel University, 10
Queens Road, Uxbridge,
WY1 1AA
© 2024 Kendall Kingscott
Do not scale this drawing

Project
Lecture Centre W/C
Refurbishment
Client
Brunel University London
Scale
1:200
Paper Size
A2
Filename
191051.vwx
© Google

Rev Date By App Note

Drawing Title
Lecture Theatre F Ceiling Plan

Project Number Drawing Number Revision

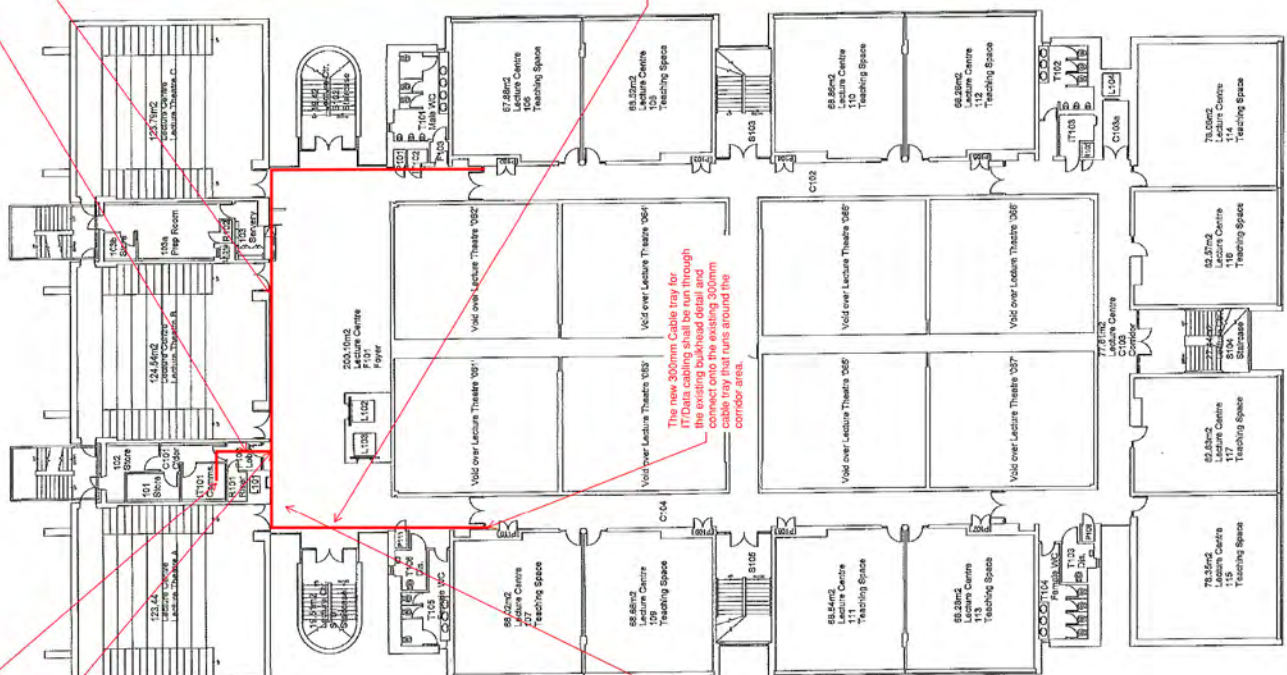
190092 L(0)01

Date Drawn Checked Status
30/01/19 JC GC PRELIMINARY

1. The existing 300mm x 100mm galvanised trunking and white plastic trunking installed within the foyer area will be stripped out in its entirety.
2. New 450mm cable tray will be provided as indicated on the layout drawing. The final routing height of the cable tray will be dictated by the final routing requirements at either end of the foyer area.
3. The proposed new containment route and type will be subject to listed building consent.

New 450mm Cable tray to be run at high level as indicated. In order to run the new containment, the existing plasterboard bulk-heads will need to be provided with an opening of 500mm(w) x 100mm(d)

The new 450mm Cable tray for Small Power IT/Data cabling shall be run using the same route as the current containment. At the end of the foyer the cable tray shall be reduced to 300mm and routed to enable the tray to be run on the underside of the soffit.



The new 300mm Cable tray for IT/Data cabling shall be run through the existing bulkhead detail and connect onto the existing 300mm cable tray that runs around the perimeter area.



The new 11' cable tray shall routed to enable the tray to be run on the underside of the soffit as indicated and follow the existing building structure.


$$\frac{\Sigma}{I}$$

hiltonmoran.com info@hiltonmoran.com

Client

Brunel University London

Project
Central Lecture Block Refurbishment Works

Electrical Services
Level 1 - Foyer IT/Data Cabling Containment

Scale:	Sheet Size:	Checked:	Approved:
NIS	A1	RW	AA

FOR INFORMATION

Drawing No:	Rev
26806-HMP-01-01-DR-E-0002	01

Software: MicroStation 2000

Notes

1. This drawing is to be read in conjunction with all mechanical, electrical & public health drawings for this project.
2. All services work to be carried out in accordance with the relevant Engineering Specification for this contract.

00 17504729 Tender Issue MS FT

HIM

himgroup.co.uk

BRUNEL UNIVERSITY LONDON

BUL Lecture Theatre

Mechanical Services
External Elevations

1:250 A3 JAN 2024 11A

TENDER DRAWING

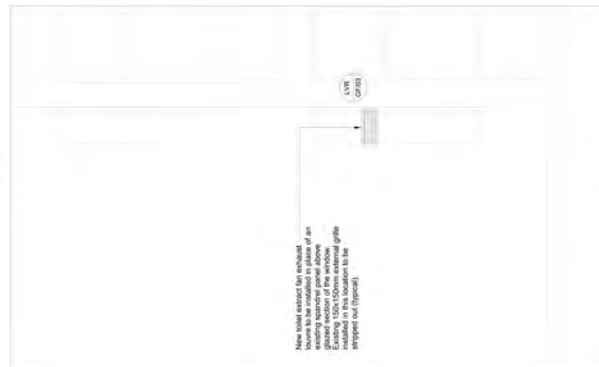
268006-HMP-01-00-DR-M-0002 00



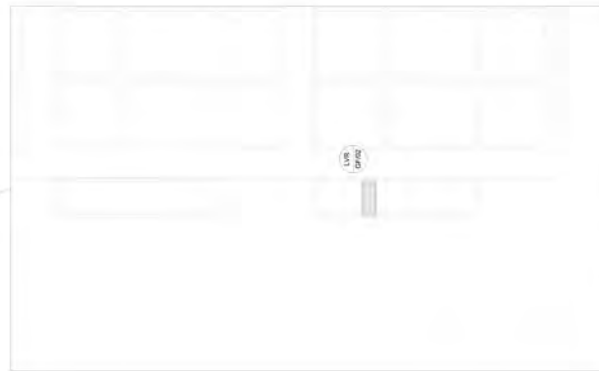
Existing West Elevation



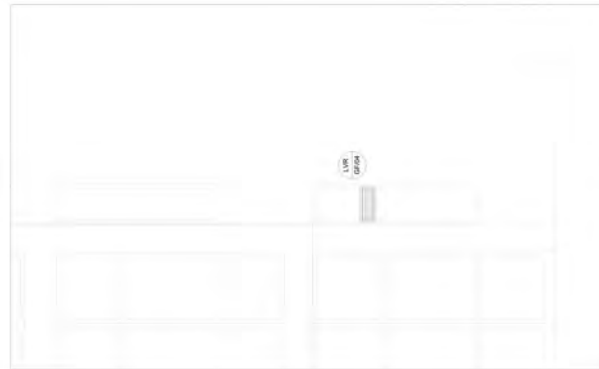
Existing East Elevation



Detail A
Scale 1:25



Detail B
Scale 1:25



Detail C
Scale 1:25



Detail D
Scale 1:25

DRAWING KEY

- ✓ Ideal Standard 'Concept' Range
Back To Wall WC 'AquaTide' Technology' With
Ceramic 2 Litre Lever Operated Flush Valve
& Armature Shanks Spatula Cistern
Lever Chrome
- ✓ Wall hung Ideal Standard 'Concept' Range 55cm
Arc Basin With Semi Pedestal
- ✓ New Hand Dryer
- ✓ New Sanitary Bin
- ✓ New Waste Bin
- ✓ New Paper Towel Dispenser
- ✓ New Soap Dispenser
- ✓ New Toilet Roll Holder
- ✓ Diamond Mirror 8mm Thick
500mm x 1000mm (Safety Glass)
- ✓ Diamond Mirror 8mm Thick
500mm x 500mm (Safety Glass)
- ✓ Ceraflex Basin Mixer With Pop up
Waste
- ✓ Project Euro Sashlock
- ✓ Return to Door Lever Handles, Chrome

Floor Finishes Key

F1 Altro Suprema Slip Resistant • Vinyl flooring -
5420565 Shadow Colour With Covered Upeland

Wall Paint Finishes Key (Above 1200mm Boxing)

W1 Dulux Trade 'Diamond Matt Brilliant White'

Ceiling Finishes Key

C New Ceiling Finishes -
Dulux Trade Diamond Matt Brilliant White

Wall Tile Finishes Key

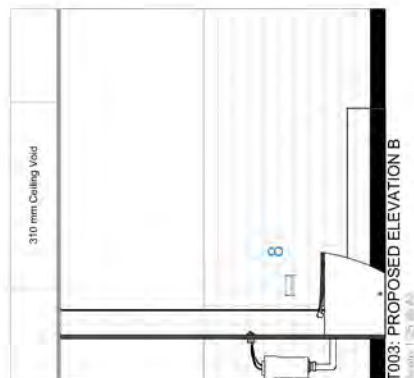
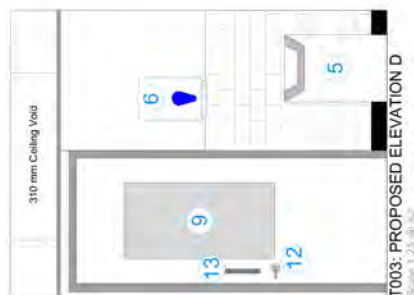
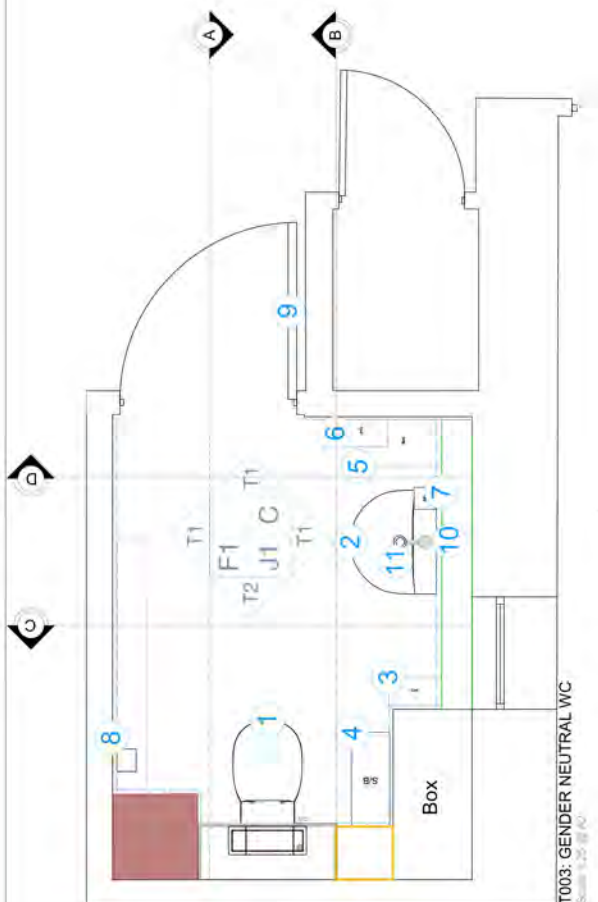
T1 Victoria Metro Wall Tiles -
Glass White - 200mm x 100mm to 1200 mm
High

T2 Victoria Metro Wall Tiles -
Glass White - 200mm x 100mm

Joinery

J1 Entry Door
Dulux Sainwood 'Chic Shadow' - Architraving
Dulux Trade Sainwood 'Brilliant White-Door'
Finishes

J2 WC Doors
Dulux Sainwood 'Brilliant White' Architraving



Project
Gender Neutral WC
Refurbishment

Client
Brunel University London

Scale
1:25

Page Size
A2

Revision
181051.WWK

Drawn
JC

Checked
CB

Date
22/02/19

Status
PRELIMINARY

Check all dimensions and layout on site

Issue Date By Date

Gender Neutral WC T003

Project Number
181051 L(0)21

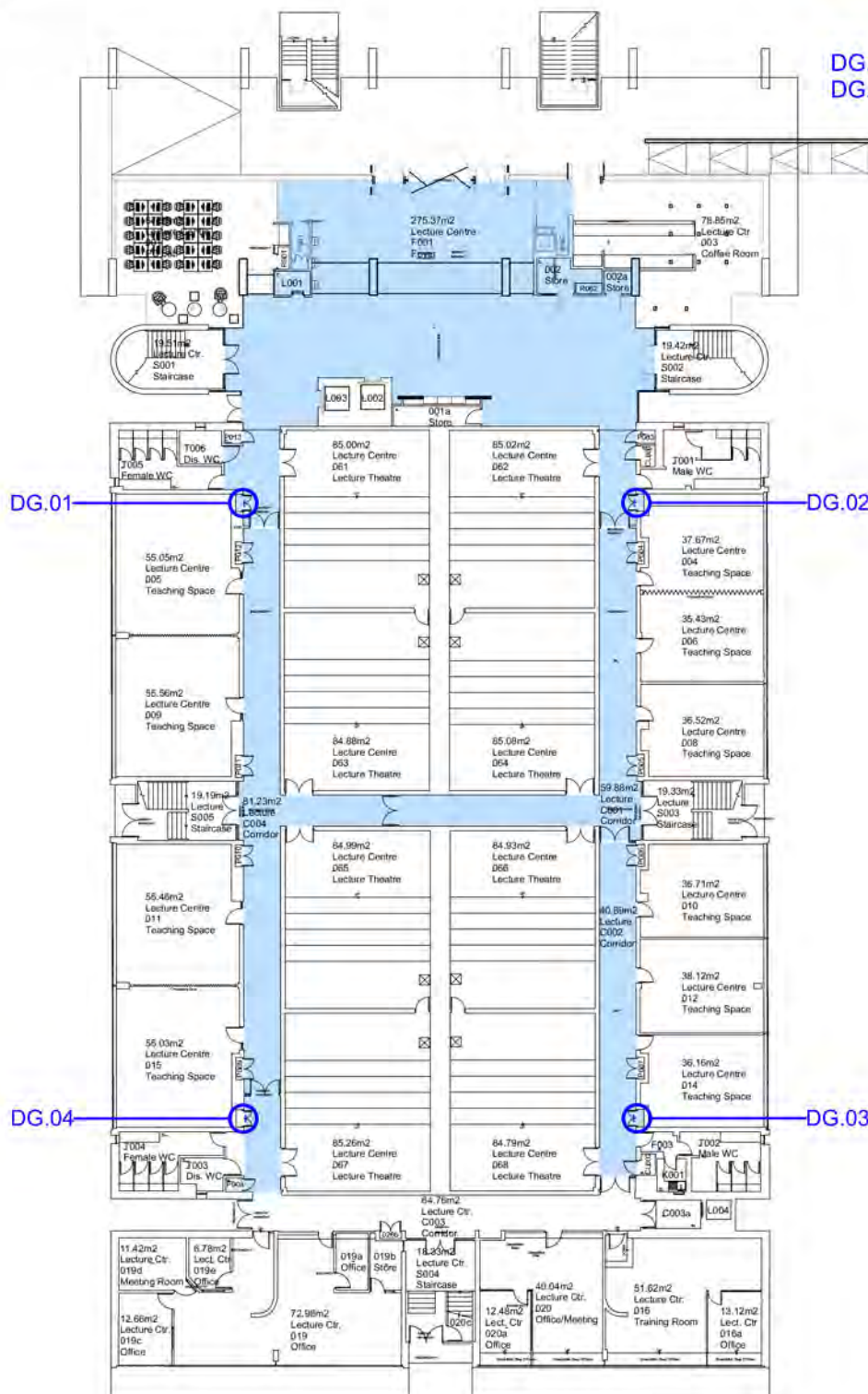
Revision
1

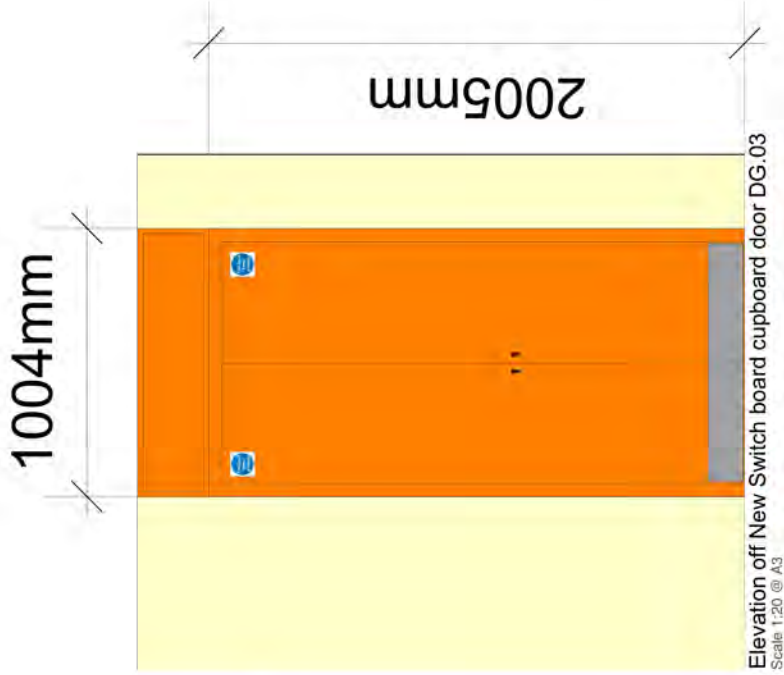
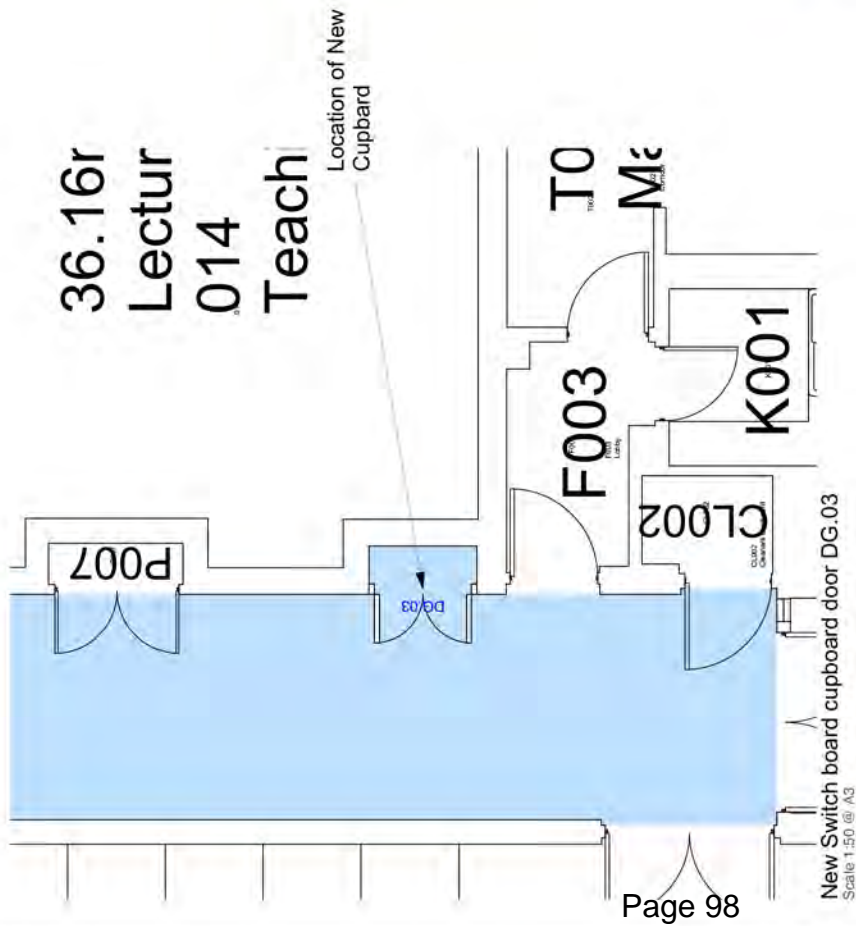
GRID TO LOCAL DATUM
LIVES TO O.S. BENCHMARK
AT CEMETERY ENTRANCE KINGSTON LANE
VALUE 42.84m

DRAWING KEY

Service Works Area

DG.01, DG.02, DG.03, DG.04 New FD30s door sets to Distribution board stores





Existing Bathroom and
Cupboard doors



Chartered Architects
Chartered Building Surveyors
Interior Designers
CDM Services

Suite 3 Sandford House, 1B
Clarendon Road, Teddington,
TW11 8DH
+44 (0)2089 435 300
www.kendallkingscott.co.uk

Project
Central Lecture Building
Main Works

Client
Brunel University London

Scale
N/A

Paper Size
A3

Filename
181051.vwx

Do not scale this drawing

Rev. Date By App. (Date)

Proposed Elevation Of
New Cupboard Doors

Project Number
181051

Drawing Number
L(0)24

Date
20/05/19

Drawn
JC

Checked
GC

Status
PRELIMINARY

Check all dimensions and levels on job

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The floor plan shows a laboratory room (T006) with the following features:

- Room Label:** T006
- Equipment:** A large piece of equipment labeled 'Radiator' is located on the right side of the room.
- Dimensions:** The room is 10.00m wide and 10.00m deep.
- Callouts:** Numbered callouts (1-14) are placed throughout the room, corresponding to the checklist items. For example, callout 1 is near the radiator, callout 2 is near the equipment, and callout 14 is near the door.
- Other Labels:** D4, D5, and D6 are labeled near the bottom of the plan, possibly indicating door locations or specific equipment areas.

2 Concept Arc 45cm handrinse washbasin 1 taphole with overflow

**Diamond Mirror 8mm Thick
2200mm x 500mm (Safety Glass)**

4 New Soap Dispenser

5 New Hand Dryer

New Sanitary Bin

7 New Waste Bin

8 New Toilet Roll Holder

New Paper Towel Dispenser

10 New Grab Rails, Chrome

11 Reinstall Radiator

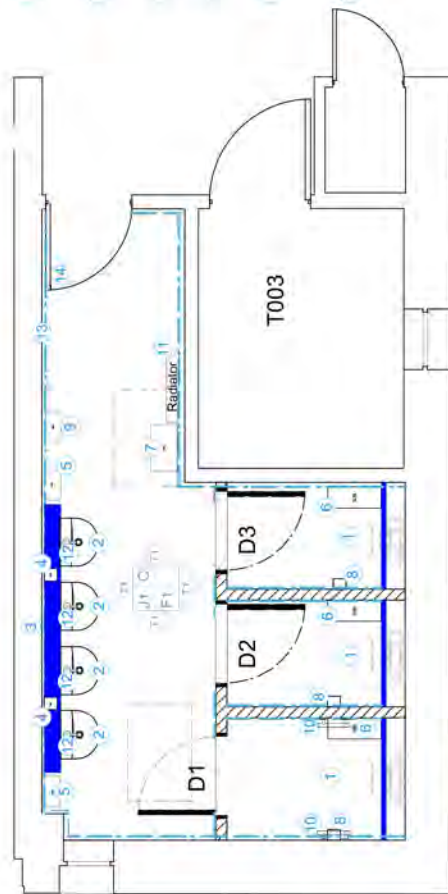
12 Concept Blue washbasin mixer 1 hole with pop-up waste

13. Diamond Mirror 8mm Thick 650mm×850mm (Safety Glass)

14 Door Stop

T005: GENDER SEPARATE FEMALE

Scale 150 @ A3



T004: GENDER SEPARATE FEMALE

Scale 1.50 @ A3

Note:
Please Refer To Full Hillson Moran
Specification Regarding Lighting And
Ventilation Outlet Requirements

Kendall Kingcott

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Chartered Building Surveyors
Interior Designers
CBM Services

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www.kendallkingstonscott.co.uk

University of Illinois at Chicago

Project
Lecture Centre WC
Refurbishment

Brunel University London

Scale	Paper Size	Filename
1:50	A3	181051.vwx

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Drawing Title:

Proposed Female WCs T004 & T005

Project Number	Drawing Number
----------------	----------------

181051 L(0)15

Date	Drawn	Checked	Status
15/02/19	JC	MM	TENDER

Check all dimensions and levels on site

A 28/02/19 JC CB 100mm Blockwork partitions added which meant two cubicles were removed.
was through replaced by basins with new taps and soap dispensers. Demountable Ceiling Replaced with plasterboard.

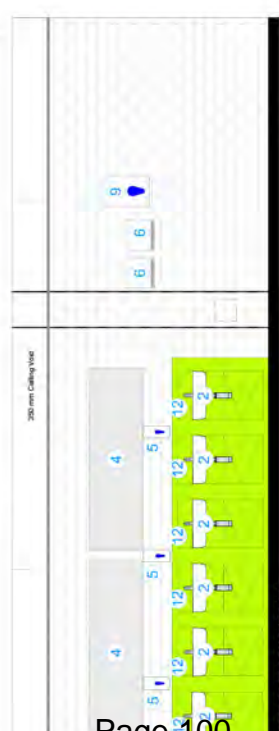
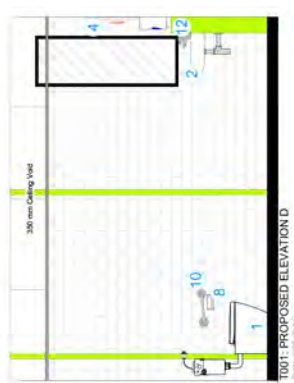
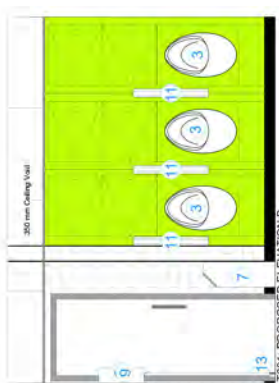
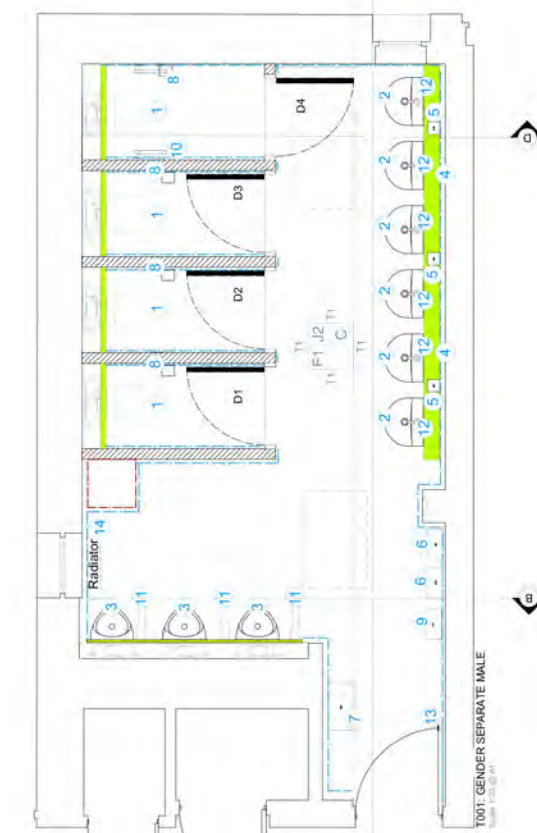
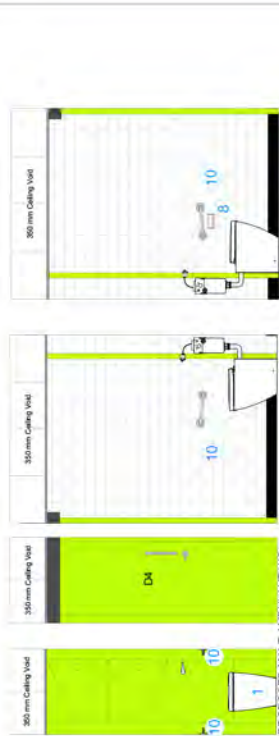
Rev. Date By Ap Note

Floor Finishes Key	
F1	Altro Suprema Slip Resistant * Vinyl flooring - 5420565 Shadow Colour With Cove Upstand
Ceiling Finishes Key	
C	New Ceiling Finishes - Dulux Trade Diamond Matt Brilliant White
Wall Tile Finishes Key	
T1	Victoria Metro Wall Tiles - Gloss White - 200mm x 100mm
Joinery	
J1	Entry Door Dulux Satinwood 'Chic Shadow' - Architraving Dulux Trade Salinwood Brilliant White - Door Finishes
J2	WC Doors Dulux Satinwood 'Brilliant White' - Architraving

DRAWING KEY

- Material Specifications:**
- Door:** Polyurethane High Pressure Laminate Doorset (800mm wide) - Colour To Match PQQ Panels - Citrus
 - Window:** Ideal Standard Concept Space Range Back To Wall Window - Colour To Match PQQ Panels - Citrus
 - Shank:** Chroma & Amalgam Shanks Spatula Cistern Lever Chrome
 - Concept:** Concept Arc 45cm handline washbasin 1 tap hole with overflow
 - Amalgam:** Amalgam Shanks 'Contour Range' 67cm Urinal with concealed auto cistern
 - Diamond:** Diamond Mirror 8mm Thick 1750mm x 500mm (Safety Glass)
 - New Soap:** New Soap Dispenser
 - New Hand:** New Hand Dryer
 - New Waste:** New Waste Bin
 - New Toilet:** New Toilet Roll Holder
 - New Paper:** New Paper Towel Dispenser
 - New Grab:** New Grab Rails, Chrome
 - Starck:** Starck 3 Ceramic urinal partition
 - Concept:** Concept Blue washbasin mixer 1 hole with pop-up waste
 - New Door:** New Door Stop
 - Reinstate:** Reinstate Radiator

- Floor Finishes Key**
- F1:** Auro Spacemat Slip Resistant - Very Noising
 - C:** 5000000 Shadow Colour With Coated Updater
- Ceiling Finishes Key**
- C:** New Ceiling Finish - Dulux Trade Diamond Matt Brilliant White
- Wall Tile Finishes Key**
- T1:** Victoria Metro Wall Tile - Gloss White - 200mm x 100mm
- Joinery**
- J1:** Entry Door - Dulux Seawood Olive Shalimar - Architrave - Dulux Trade Seawood Brilliant White - Dado - Dulux Trade Seawood Brilliant White - Dado
 - J2:** V&G Shanks - Dulux Seawood Seawood White - Architrave



Kendall Kingscott

Project: Lecture Centre WC Refurbishment

Client: Brunel University London

Location: Brunel University London

Project No: 181051 LQ017

Scale: 1:25 @ A1

Drawn by: JG

Checked by: JG

Date: 18/07/19

Project Status: A

Project Details:

Project Name: Lecture Centre WC Refurbishment

Client: Brunel University London

Location: Brunel University London

Project No: 181051 LQ017

Scale: 1:25 @ A1

Drawn by: JG

Checked by: JG

Date: 18/07/19

Project Status: A

DRAWING KEY

Polyrey High Pressure Laminate
D1-D2 Doorset (800mmwide) - Colour
To Match PDQ Panels - Citrus

TBS Amwell PDQ Panel
And Frame Colour 'Citrus'

Blockwork Walls

Victoria Metro Wall Tiles -
Gloss White - 200mm x
100mm

Location of inspection
Chambers

1 Ideal Standard 'Concept Space'
Range Back To Wall WC With
Conceala 2 Low Level Lever Cistern
& Armitage Shanks Spatula Cistern
Lever Chrome

2 Wallhung Armitage Shanks Portman
21 Range 40cm Washbasin

3 Armitage Shanks 'Contour Range'
67cm Urinal With Conceala Auto Cistern

4 Diamond Mirror 8mm Thick
2200mm x 500mm (Safety Glass)

5 New Soap Dispenser

6 New Hand Dryer

7 New Waste Bin

8 New Toilet Roll Holder

9 New Paper Towel Dispenser

10 New Grab Rails, Chrome

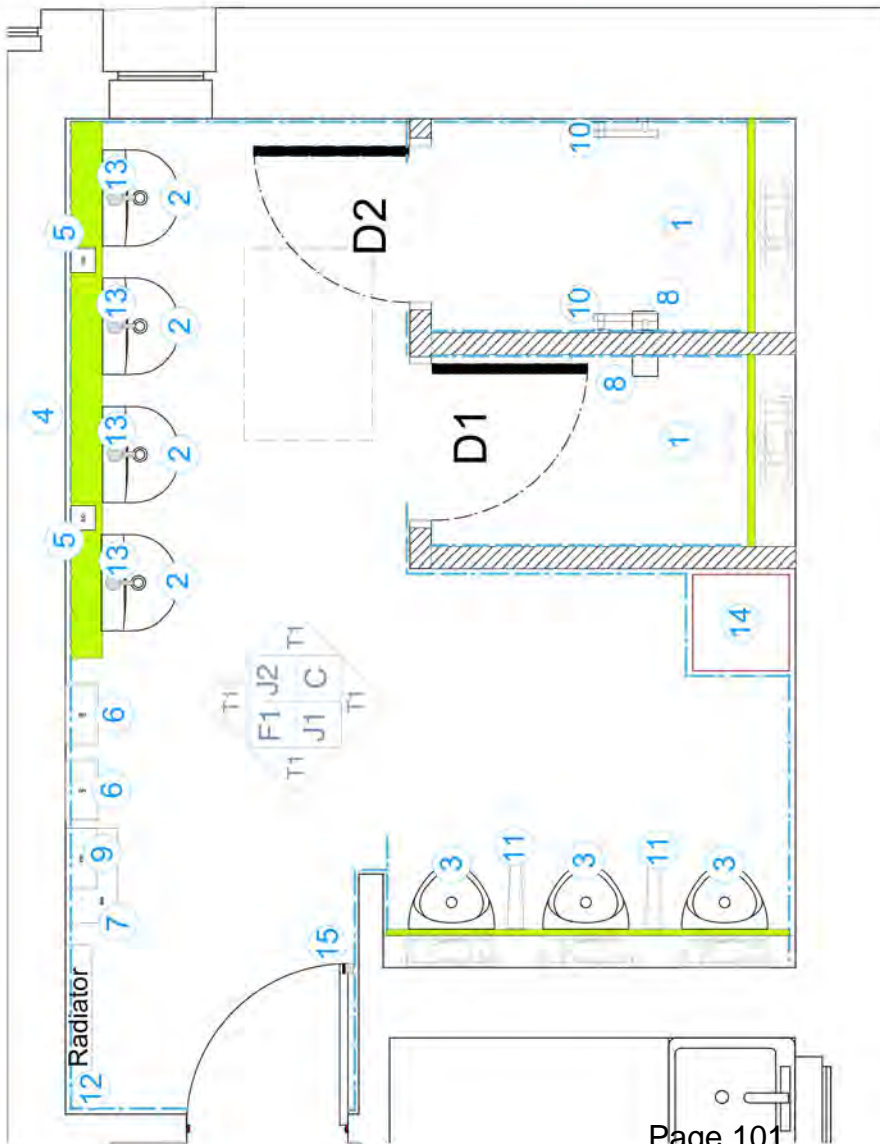
11 Starck 3 Ceramic urinal partition

12 New 800mm (W) Radiator

13 HBN 00-10 HTM64 (TP5)
Piccolo 21 Pillar Taps

14 1150 x 450 x 450 high level tiled
boxing for new hot water cylinder
(Location to be confirmed by Hilson
Moran)

15 New Door Stop



T002: GENDER SEPERATE MALE WCs
Scale 1:25 @ A3



Chartered Architects
Chartered Building Surveyors
Interior Designers
CBM Services

Suite 3 Standard House, 1B
Clarendon Road, Teddington,
TW11 8QH
+44 (0)2059 435 300
www.kendallkingscott.co.uk

Project
Lecture Centre WC
Refurbishment

Client
Brunel University London

Scale: 1:50
Paper Size: A3
Filename: 181051.vwx
Do not scale the drawing

Proposed Male WCs T002

Project Number
Drawing Number
Revision
181051 L(0)19
A

Date: 11/02/19
Drawn: JC
Checked: MM
Status: TENDER
Check all dimensions and levels on site

A 28/02/19 JC CB 100mm Blockwork partitions added which
meant A cubicle was removed.
washroom replaced by basins, new taps
and soap dispensers. Demountable
Ceiling Replaced with plasterboard.
Rev: Date By: Ap Note

DRAWING KEY

Accessible Toilets (Armitage Shanks 'Doc M Range Standard')

- 1 Contour 21+ raised height back to wall rimless WC pan with raised horizontal outlet and anti-microbial glaze With Conceala
- 2 2 Low Level Lever Cistern & Armitage Shanks Spatula Cistern Lever Chrome
- 3 Contour 21 hinged support rail (Drop Down) 80 x 35mm diameter, Doc M Compliant
- 4 Contour 21 grab rail straight 60cm long x 35mm diameter
- 5 Contour 21 37cm handrinse washbasin right hand taphole no overflow or chainstay hole, bottom outlet
- 6 Toilet roll holder for Contour 21 hinged arm rail
- 7 New 700mmx1000mm Mirror (600mm From Floor)
- 8 New Soap Dispenser
- 9 New Hand Dryer
- 10 New Sanitary Bin
- 11 New Mirror
- 12 Tiles to 1200mm high Urban chic 'Waterloo Orange' 200x100mm
- 13 1200mmx250mm Boxing
- 14 930mmx160mm Boxing

- 10 New Waste Bin
- 11 New Paper Towel Dispenser
- 12 Contour 21 grab rail straight 45cm long x 35mm diameter
- 13 Contour 21+ 1 hole thermostatic basin mixer, single sequential lever with copper tails
- 14 1150 x 450 x450 high level full height boxing to accomodate hot water cylinder (Location to be confirmed by Hillson Moran)

Floor Finishes Key

F1 Altro Supramat Slip Resistant + Vinyl flooring - 5420565 Shadow Colour With Cove Upstand

Wall Paint Finishes Key (Above 1200mm Boxing)

W1 Dulux Trade 'Diamond Matt Brilliant White'

Ceiling Finishes Key

C New Ceiling Finishes - Dulux Trade Diamond Matt Brilliant White

Wall Tile Finishes Key

T1 Victoria Metro Wall Tiles - Gloss White - 200mm x 100mm to 1200 mm High

T2 Victoria Metro Wall Tiles - Gloss White - 200mm x 100mm

Joinery

J1 Entry Door
Dulux Satinwood 'Chic Shadow' - Architraving
Dulux Trade Satinwood 'Brilliant White' -Door Finishes

J2 WC Doors
Dulux Satinwood 'Brilliant White' - Architraving

A 01/03/19 JC CB
REV Date By Ap Note

Proposed Accessible WC T006

Project Number
181051 L(0)16
Revision
A

Drawing Title

Project
Lecture Centre WC
Refurbishment

Client
Brunel University London

Scale
1:50
A3
181051.vwx

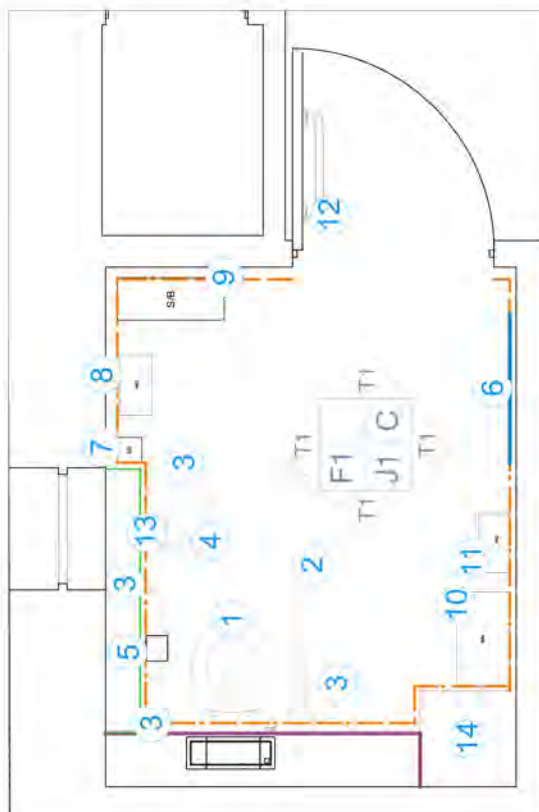
Do not scale this drawing

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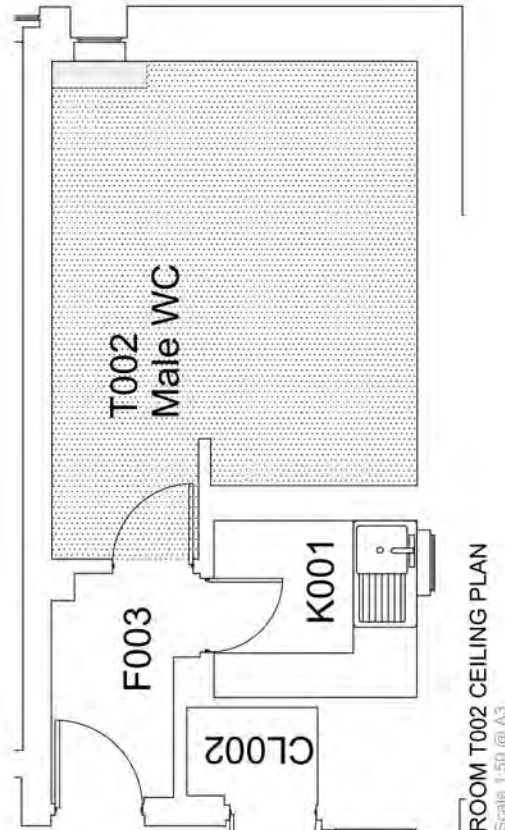
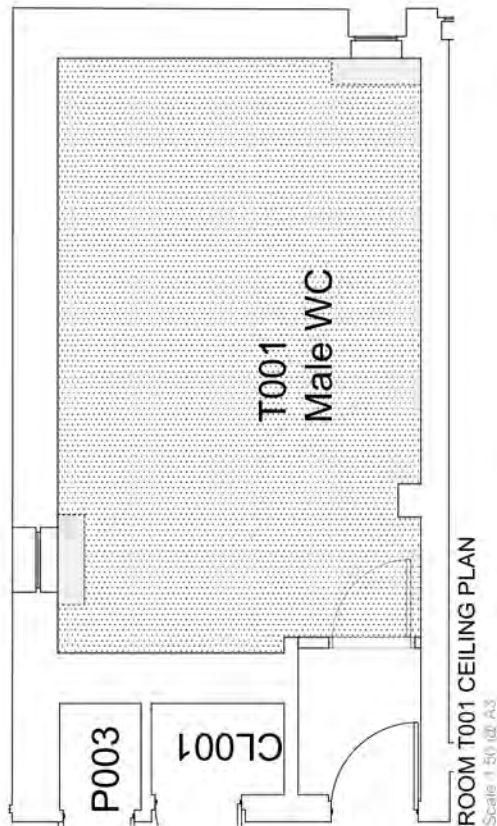
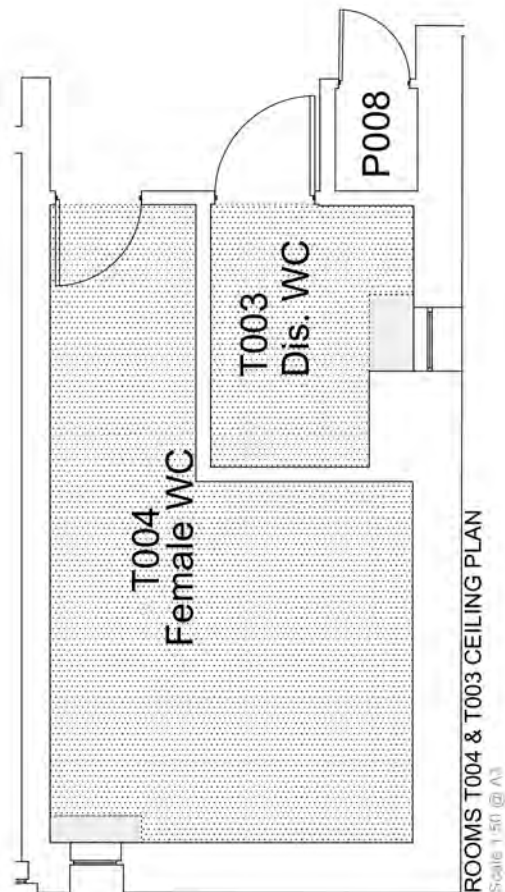
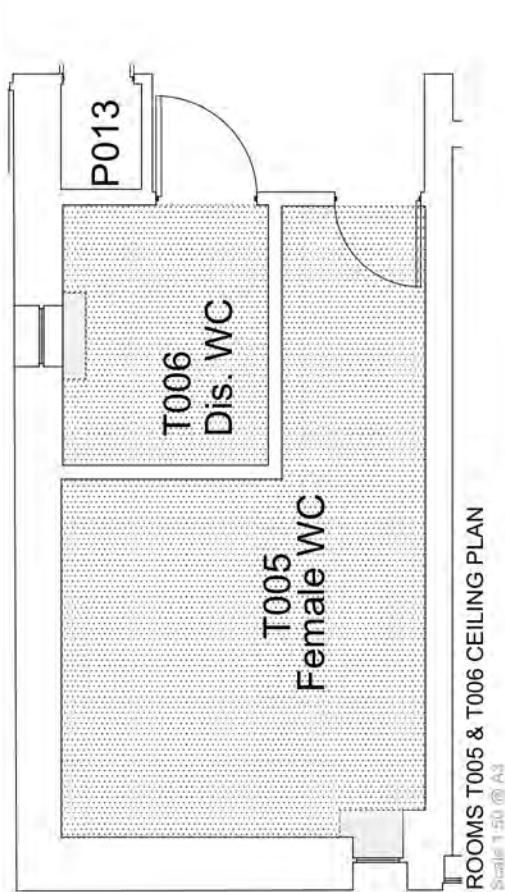
Suite 3 Sandford House, 1B
Oldgrove Road, Twickenham,
TW9 1BDH
+44 (0)2080 435 300
www.kendallkingscott.co.uk

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T006: ACCESSIBLE WC
Scale 1:25 @ A3

Note:
Please Refer To Full Hillson Moran
Specification Regarding Lighting And
Ventilation Outlet Requirements



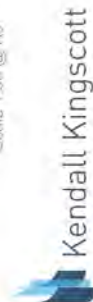
DRAWING KEY



New Metal Framed Plasterboard ceiling



Recessed Plasterboard Ceiling Around Window Openings



Kendall Kingscott

Chartered Architects
Chartered Building Surveyors
Interior Designers
CIMA Suppliers

Suite 3 Sandford House, 1B
Clarendon Road, Teddington, Middlesex TW11 8DH
+44 (0)2089 435 300
www.kendallkingscott.co.uk

Project
Lecture Centre WC
Refurbishment

Client
Brunel University London

Scale
1:50
Paper Size
A3
Filename
181051.vwx
Do not scale this drawing

Rev: Date By No. Note

Drawn By

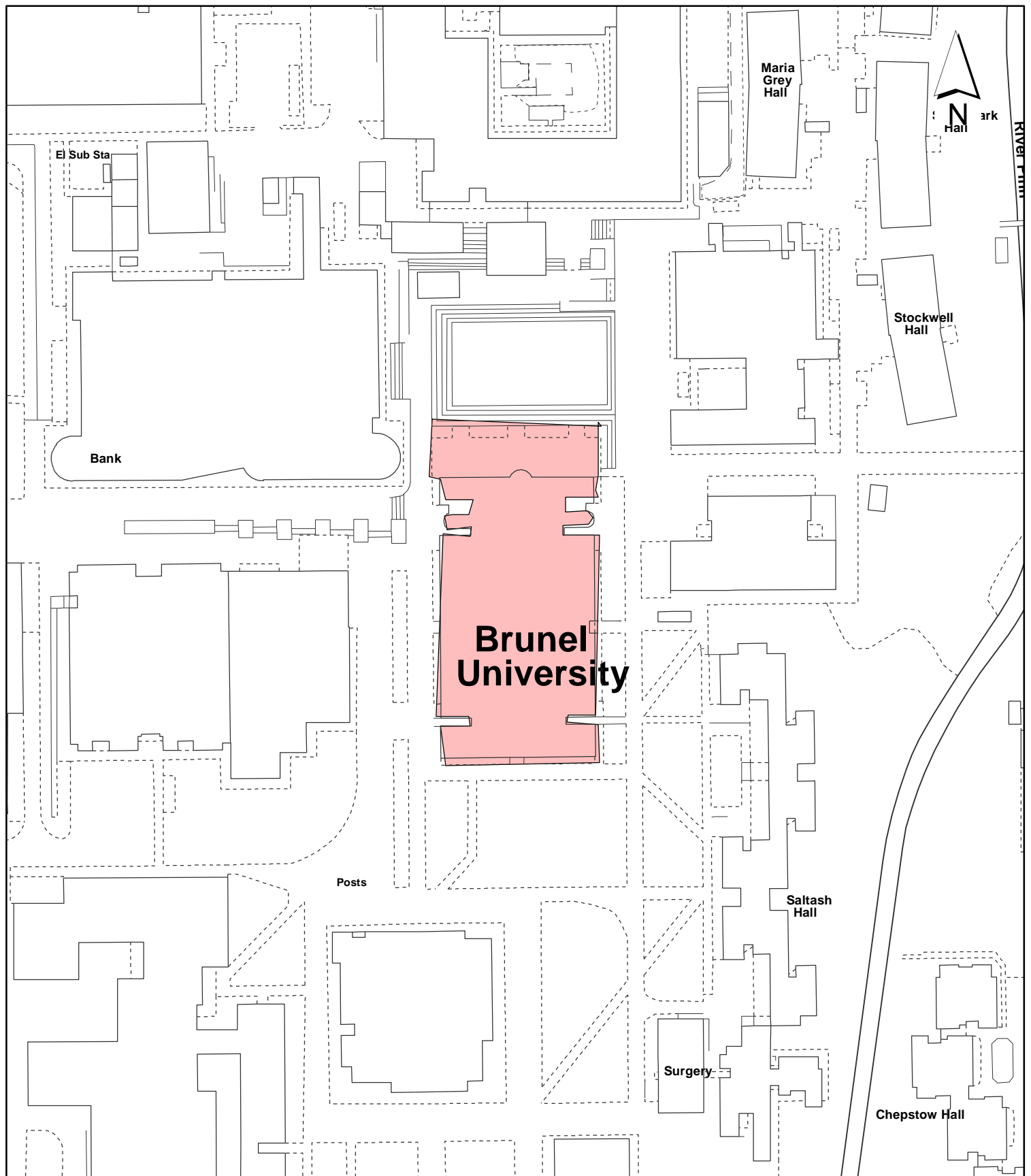
Extent Of New Metal Framed Plasterboard
Ceilings - All WCs

Project Number
181051 L(0)22

Revision
/

Date
11/02/19
Checked
JC
Status
MM
TENDER

Check all dimensions and levels on site



Notes:

 Site boundary

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Site Address:

**Central Lecture Building
Brunel University
Kingston Lane**

Planning Application Ref:

74764/APP/2019/1315

Scale:

1:1,250

Planning Committee:

Central & South

Date:

June 2019

**LONDON BOROUGH
OF HILLINGDON**

**Residents Services
Planning Section**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning, Transportation and Regeneration

Address JOSEPH LOWE BUILDING, BRUNEL UNIVERSITY KINGSTON LANE
HILLINGDON

Development: Installation of solar panels

LBH Ref Nos: 74715/APP/2019/1074

Date Plans Received: 29/03/2019

Date(s) of Amendment(s):

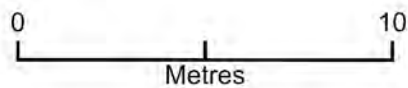
Date Application Valid: 15/04/2019

Brunel University Solar (Joseph Lowe Building)



Plan Produced for: Hillingdon Planning Dept
 Date Produced: 12 Mar 2019
 Plan Number/Project ID: TORQM19071143317855
 Scale: 1:1250 @ A4

Joseph Low Building (Proposed Solar Install)

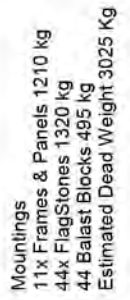


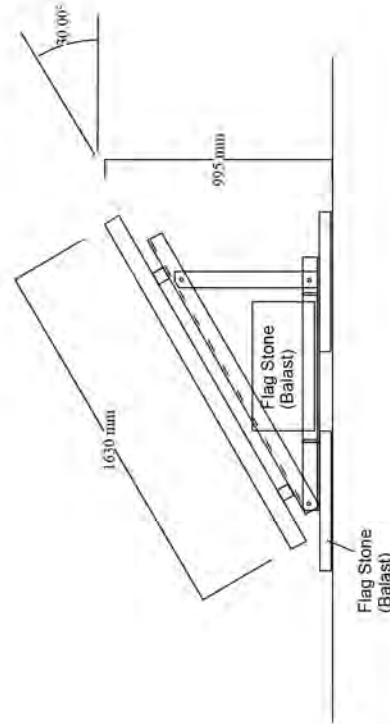
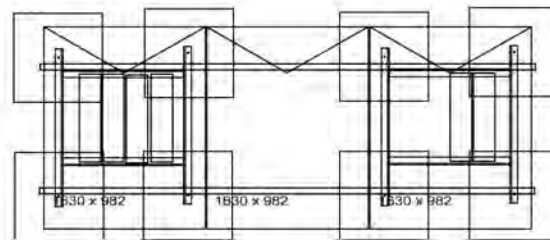
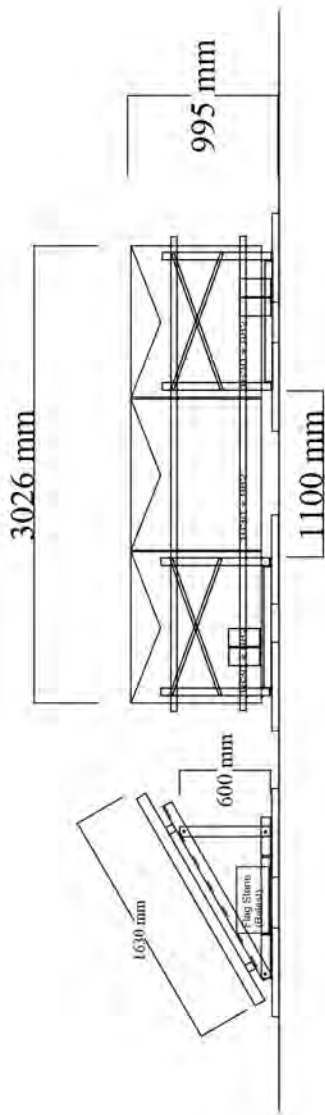
Plan Produced for: Hillingdon planning dept

Date Produced: 12 Mar 2019

Plan Number/Project ID: TQRQM19071150753735

Scale: 1:200 @ A4

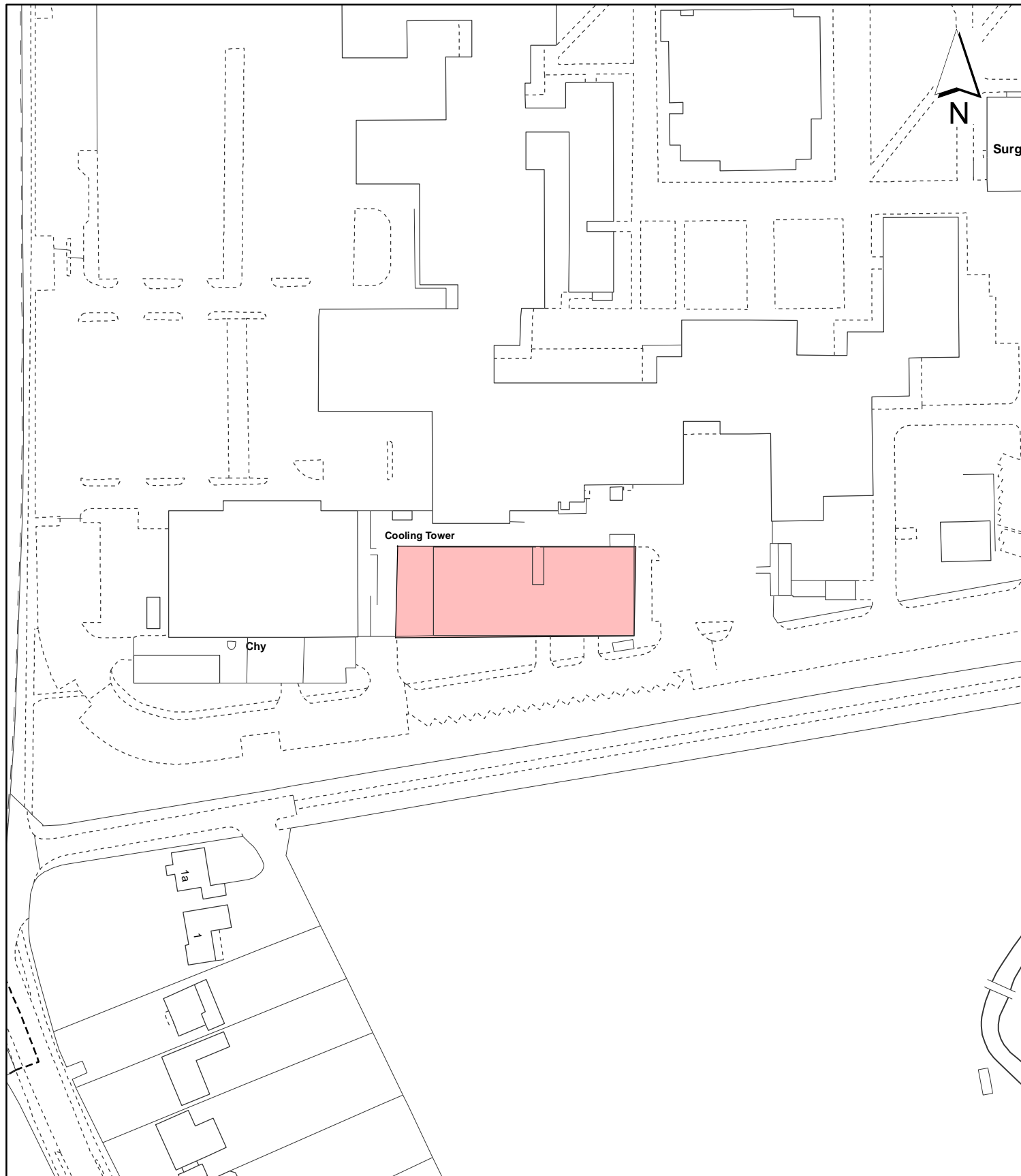




Roof Information
Flat Roof,
Material Bitumen Membrane
Panel 1630 x 982
Panel Pitch at 30deg

Mountings
1 x Frames & Panels @ 110kg
8 x FlagStones @ 120kg
4 x Balast Blocks @ 45Kg
Estimated Dead Weight 275 Kg

ISSUE	DESCRIPTION	DATE	CHG No	energyconnect uk committed to a responsible future	DESCRIPTION	DRAWING NO. ECQ07275 FRM Rev 1
1	11x1 Solar Frame	15/03/2018		72 Bradgate Street Unit 5b Woodgate Business Center Leicester LE4 0AW Tel 0116 242 7007	Solar Frame	INITIAL MODEL BY: D Beacroft
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Site Address:

**Joseph Lowe Building
Brunel University
Kingston Lane**

Planning Application Ref:

74715/APP/2019/1074

Scale:

1:1,250

Planning Committee:

Central & South

Date:

June 2019

**LONDON BOROUGH
OF HILLINGDON**
**Residents Services
Planning Section**

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Telephone No.: Uxbridge 250111



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